

BYLAW NO. 12-2021

A BYLAW OF THE CITY OF LLOYDMINSTER IN THE PROVINCES OF ALBERTA AND SASKATCHEWAN TO ADOPT BYLAW NO. 12-2021, BEING "THE PARKVIEW ESTATES AREA STRUCTURE PLAN AMENDMENT BYLAW".

WHEREAS the Council of the City of Lloydminster deems it necessary to establish a Bylaw to deal with people, activities and things in, on or near a public place or place that is open to the public.

AND WHEREAS the *Lloydminster Charter* provides authority to City Council to pass bylaws for municipal purposes;

AND WHEREAS the *Lloydminster Charter* provides authority to the City to pass bylaws respecting the enforcement of bylaws.

NOW THEREFORE the Council of the City of Lloydminster deems it necessary to establish a Bylaw to amend the Parkview Estates Area Structure Plan Bylaw to ensure growth occurs in a logical and integrated pattern; and

NOW THEREFORE, the Council of the City of Lloydminster, pursuant to the authority granted in Section 15 of the *Lloydminster Charter*, enacts as follows:

1. This Bylaw shall be cited as the Parkview Estates Area Structure Plan Amending Bylaw.
2. That Bylaw No. 05-2014, entitled The Parkview Estates Area Structure Plan Bylaw is amended as outlined in Schedule A which is attached to and forms part of this bylaw.

INTRODUCED AND READ a first time this 25 day of April 2021, A.D.

PUBLIC HEARING held this 17 day of May, 2021, A.D.

READ a second time this 17 day of May, 2021, A.D.

READ a third time this 17 day of May, 2021, A.D.

MAY 18 2021

Date Signed

MAY 18 2021

Date Signed


MAYOR



CITY CLERK



BYLAW NO. 12-2021

SCHEDULE "A"

Parkview Estates Area Structure Plan Amendment



Mayor

City Clerk



PARKVIEW ESTATES

AREA STRUCTURE PLAN AMENDMENT

April 12, 2021
Land Division



BYLAW NO. 12-2021

Table of Contents

1. Background 3

 1.1 Summary of Proposed Amendment 3

 1.2 Location 3

 1.3 Surrounding Land Uses 4

2. Proposed Changes & Analysis 4

 2.1 Residential 4

 2.2 Commercial 5

 2.3 Parks and Open Space 5

 2.4 Institutional 5

3. Transportation & Servicing 6

 3.1 Transportation 6

 3.2 Water, Sewer, and Storm Servicing 6

4. Phasing 6

5. Public Consultation 6

6. Tables & Figures 7

Table 1 Land Use Statistics 7

Table 2 Student Generation 7

Figure 1 Existing Land Use Concept 8

Figure 2 Proposed Land Use Concept 9

Figure 3 Water Servicing Concept 10

Figure 4 Sanitary Servicing Concept 11

Figure 5 Stormwater Servicing Concept 12

Figure 6 Staging Concept 13



1 BACKGROUND

The City of Lloydminster's Council adopted Bylaw No. 05-2014, known as the Parkview Estates Area Structure Plan (ASP), on February 24, 2014, which was prepared by Select Engineering Consultants Ltd. The ASP consists of approximately 265 hectares (655 acres) of land primarily comprised of low density residential, with large areas of medium density residential along collector roadways. The residential areas surround a central green space complete with an elementary school and high school. The northern portion of Parkview Estates includes a large commercial shopping center along Highway 16. For visualization, please refer to **Figure 1 – Existing Land Use Concept**.

1.1 Summary of Proposed Amendment

The proposed amendment offers the opportunity to accommodate a row house development consisting of approximately 200 dwelling units. This plan substitutes the initial intent of providing additional single detached dwellings. The proposal integrates well into the developed area, providing a transition between higher density residential uses to the south and low-density development to the north. The proposed development will offer residents of Lloydminster with an alternative housing option, in line with aging-in-place principles. **The Proposed Land Use Concept is attached as Figure 2.**

The amendment was initiated by the City of Lloydminster's Land Division and proposes to:

- Reallocate approximately 6.35 ha (15.70 ac) of low density residential to medium density residential to accommodate the proposed row house development of approximately 200 dwelling units;
- Provide an alternative concept for developing Phase 6 of Parkview Estates in the case the proposed school site is not utilized for a school;
- Provide additional opportunities for neighbourhood commercial developments in place of approximately 0.66 ha (1.63 ac) of medium density residential at the entrance of the neighbourhood at 75 Avenue and 34 Street;
- Reconfigure and enhance the future linear park system within the neighbourhood; and
- Reallocate the original 0.71 ha (1.75 ac) of medium density residential situated in the south-east corner of Phase 6 as low density residential, consistent with adjacent developments.

1.2 Location

Parkview Estates is located at the western boundary of the City of Lloydminster adjacent to the County of Vermilion River No. 24. The Area Redevelopment Plan (ARP) area is bounded by 75 Avenue to the west, 62 Avenue / 59 Avenue to the east, the neighbourhood of Lakeside and Bud Miller All Seasons Park to the south, and 44 Street (Highway 16) to the north. The neighbourhood is located within Section 35-49-01-W4 M and the NW ¼ Sec. 26-49-01-W4M.

BYLAW NO. 12-2021

The primary area subject to the amendment is located within the SW ¼ Sec. 35-49-01-W4M and represents a large portion of the source quarter. These source lands are located roughly in the center of the neighbourhood, surrounded by existing development.

1.3 Surrounding Land Uses

The amendment area intended for medium density residential is located between an existing single detached development (Single Detached Residential (R1) District) to the north, and two-story row house development (Row House Residential (R3) District) to the south-west. Physical buffering exists in the form of a linear park and trail system to the north and the bounding collector roadway (72 Avenue) to the south and west of the property.

7202 34 Street, legally described as Lot 87, Block 2, Plan No. 132 4708, is directly south of existing single detached dwellings. The property fronts onto 34 Street to the south, the neighbourhood's main access from 75 Avenue. There are an existing convenience store and service station on the property fronting the south side of the street, which is currently only partially developed. This property, 7401 34 Street is zoned Neighbourhood Commercial (C3) District, which provides for small-scale convenience services, catering to the needs of local neighbourhood residents.

2 PROPOSED CHANGES & ANALYSIS

2.1 Residential

The primary purpose of the proposed amendment to the Parkview Estates ASP is to accommodate a medium density row house development comprised of approximately 200 dwelling units in total. The development area, referred to as Phase 6, Stage 3 (6-3) represents approximately 6.35 ha (15.70 ac). Most of the development area in question was initially intended for seventy-seven (77) single detached dwelling units, while the remaining 0.20 ha (0.50 ac) was intended for parks and open space. The current proposed development is comprised of single-story row houses, forming a transition between the adjacent developments.

As the proposed row house development is to be developed as a single parcel with private internal roadways, the layout of the local road network connecting 6-3 with the next stage of Phase 6 (6-4) also requires amendments. The proposed amendment reconfigures this roadway along with approximately fourteen (14) single-detached lots fronting onto it. Parks and open space will be developed in place of these, making up approximately 0.83 ha (15.70 ac). This additional green space provides buffering between the proposed row housing development and the future lower density residential uses to the east while enhancing Parkview's linear park trail system. Should an additional school not be necessary as described in Section 2.4, in this area, these fourteen (14) displaced lots can be relocated along the west side of 68 Avenue.



BYLAW NO. 12-2021

The final change to 6-4 is the replacement of approximately 0.71 ha (1.75 ac) of medium density residential land, located in the most south-eastern portion (as seen on Figure 1) of the amendment area, with low-density residential, consistent with contiguous lands. With the increase in density achieved by this amendment, this area may be better left for single detached dwellings.

2.2 Commercial

With the increase in medium density residential lands produced by the amendment, the local area may experience an increase in demand for neighbourhood commercial. Furthermore, much of the demand for medium density residential within this area should be met. As per the original Parkview Estates ASP adopted in 2014, 7202 34 Street is proposed to be allocated for either medium density residential or commercial uses, depending on market conditions. An amendment to the ASP (Bylaw No. 19-2015) removed the commercial option when the parcel to the South was changed from medium density residential to commercial.

Should 7202 34 Street be considered for commercial development, a map amendment to the Municipal Development Plan (MDP) will be required along with redistricting, as both Statutory Plans currently designate the property for residential purposes. Consideration should be given to the lack of physical separation between the existing residential properties to the north. Commercial uses should be buffered to mitigate nuisances such as light, visual impacts, and noise to adjacent properties.

2.3 Parks and Open Space

While reconfiguration of low density residential uses described above will affect the layout of parks and open space within the amendment area, a decrease in green space will not occur. The future park space area will provide a physical separation between medium and low density residential areas and will enhance Parkview's linear park system. It should be noted that these lands may accommodate a future school, as described in Section 2.4.

2.4 Institutional

The ASP identifies remaining lands in-between 6-3 as institutional. The Future Land Use Concept indicates that this location has the potential to include a future school. Consultation with both the Lloydminster Public School Division (LPSC) and Lloydminster Catholic School Division (LCSC) signify that an additional school site may not be necessary in Parkview. It is important to note, the space allocated (approximately 3.75 ha (9.25 ac)) may only be sufficient for an elementary school, of which there is one/two in close proximity. Additionally, this parcel will not be sufficient in size to accommodate a future joint-use school; the model expected to be used in the coming years. However, Land Division deems it necessary to retain the option of providing land for a school site into the future should circumstances change. In an effort to provide as much transparency as possible to residents, the proposed amendment re-designates

BYLAW NO. 12-2021

the institutional area to institutional or parks and open space. This change, while subtle, continues to allow for the option of a school development if desired. Nevertheless, if it is determined that no additional school site is necessary in Parkview, additional low density lots may be constructed along the local roadway adjacent, while preserving the remaining lands for park space.

3 TRANSPORTATION AND SERVICING

3.1 Transportation

Developments accommodated by the proposed amendments are not anticipated to result in any substantial increase in use of the road network within or surrounding Parkview Estates. The affected lands are adjacent to collector roadways, which will not require upgrades or reclassification as a result of this amendment.

3.2 Water, Sewer, and Storm Servicing

The existing water, sanitary sewer, and storm sewer servicing within Parkview Estates is capable of servicing the development requiring the proposed amendments. While the lands included in the amendment areas will continue to be serviced by the existing trunk mains, changes to the underground infrastructure are reflected in Figures 3, 4, and 5, consistent with the changes to the local road layout shown on the Proposed Land Use Concept (Figure 2).

4 PHASING

While the Phasing of development is not expected to change as a result of this amendment, an updated phasing plan is provided in Figure 6, to align with the Proposed Land Use Concept (Figure 2).

5 PUBLIC CONSULTATION

Public consultation for the proposed amendment commenced February 8, 2021, with a twenty-one (21) day referral to adjacent landowners. The referral was meant to solicit initial feedback pertaining to the proposed changes to the Land Use Concept, along with corresponding MDP and Land Use Bylaw map amendments. In addition, three billboard signs were installed on the subject properties on March 1, 2021, outlining the proposed amendments. The signs included a web-based quick-link to provide further information, as well as an online forum for posting questions, comments, and concerns. The online component was undertaken in lieu of a public open-house due to restrictions caused by Covid-19. The online public engagement was live March 1, 2021 to March 26, 2021. All comments will be reviewed and taken into consideration.

A public hearing will be advertised as per the requirements of the Lloydminster Charter, and held prior Council having the opportunity to give 2nd and 3rd readings to the amending bylaw.



BYLAW NO. 12-2021

Table 1: Land Use Statistics

USE	Hectares	%	Units	%	Pop.	%	CHANGE
Gross Area	265.22						
Arterial Roadway	20.77						
Gross Development Area	244.45						
Commercial	30.03	12.3%					+1.10 ha
Institutional (Excludes Schools)	4.10	1.7					
School (MR or MSR)	9.67	4.0%					-3.74 ha
Park/Open Space (MR)	23.07	9.4%					+3.79 ha
Public Utility Lot / SWMF	6.38	2.6%					
Circulation	48.89	20.0%					
Other Uses Subtotal:	122.14	50.0%					
Low Density Residential	102.38	41.9%	1,880	60.1%	5,452	68.3%	-6.33 ha
Medium Density Residential	19.93	8.2%	1,248	39.9%	2,520	31.6%	+5.18 ha
Residential Subtotal:	122.31	50.0%	3,128	100%	7,972		

Table 2: Student Generations

Student Generations for PV:	Elementary	Junior High	Senior High	Total students	CHANGE	%
% of Pop. PV Public	574	213	265	1,052	75	+ 7.65%
% of Pop. PV Catholic	287	106	132	525	37	+7.55%
Total:	861	319	397	1,577	112	+7.65%

Handwritten signature in blue ink over a rectangular stamp. The stamp contains the text "Mayor" and "City Clerk" with a signature over it.

BYLAW NO. 12-2021

AREA STRUCTURE PLAN

Mayor
City Clerk



LEGEND

- ASP BOUNDARY
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- INSTITUTIONAL
- PARK/OPEN SPACE
- STORMWATER MANAGEMENT FACILITY
- ✳ SCHOOL
- POTENTIAL INSTITUTIONAL



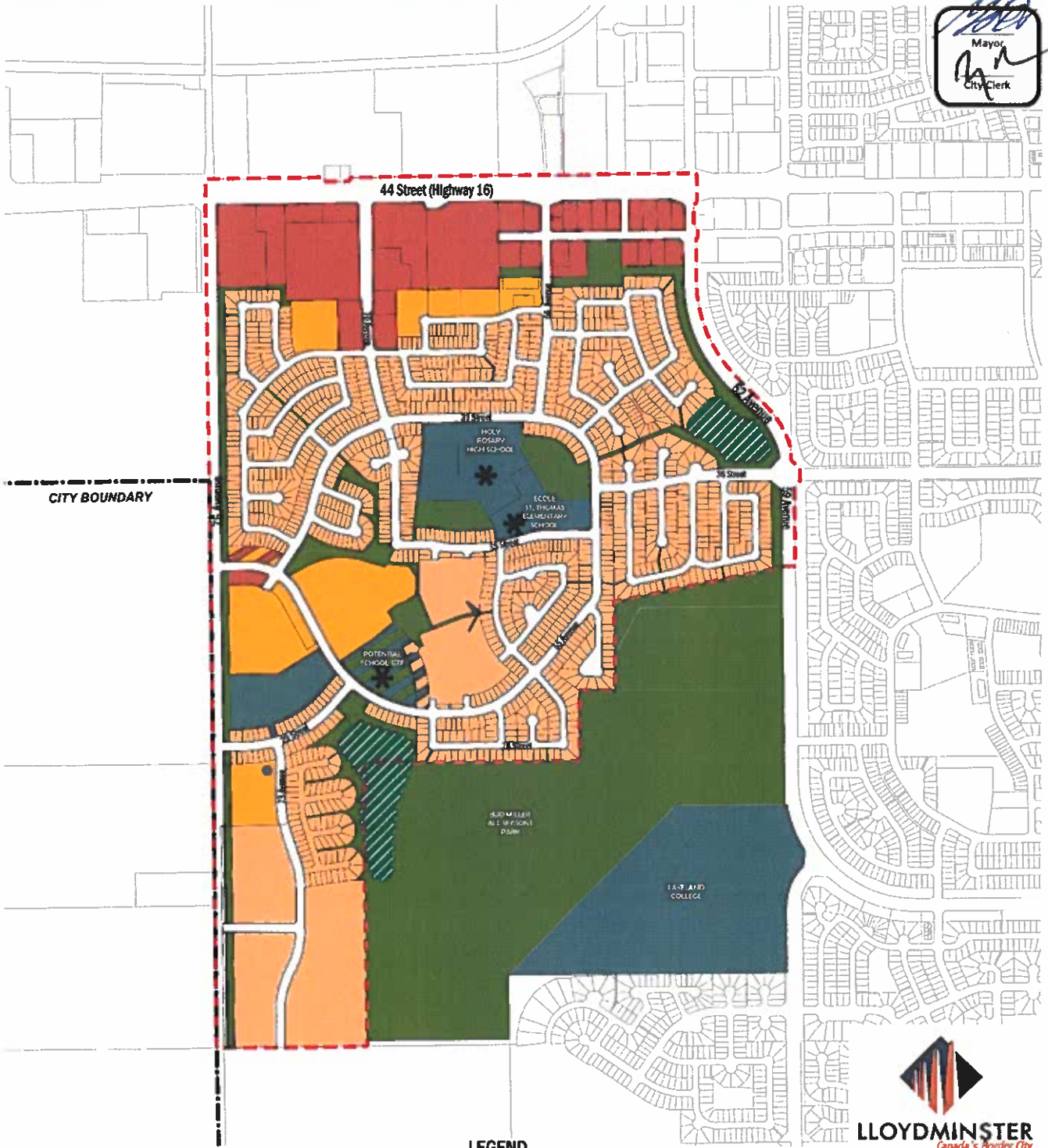
EXISTING LAND USE CONCEPT

SEC

0 150 300 m scale 1:15,000

BYLAW NO. 12-2021

AREA STRUCTURE PLAN



- LEGEND**
- ASP BOUNDARY
 - LOW DENSITY RESIDENTIAL
 - MEDIUM DENSITY RESIDENTIAL
 - COMMERCIAL
 - INDUSTRIAL
 - INSTITUTIONAL
 - PARK/OPEN SPACE
 - STORMWATER MANAGEMENT FACILITY
 - PARKS AND OPEN SPACE OR INSTITUTIONAL
 - INSTITUTIONAL OR LOW DENSITY RESIDENTIAL
 - MEDIUM DENSITY OR COMMERCIAL
 - ✱ SCHOOL
 - POTENTIAL INSTITUTIONAL

PROPOSED LAND USE CONCEPT

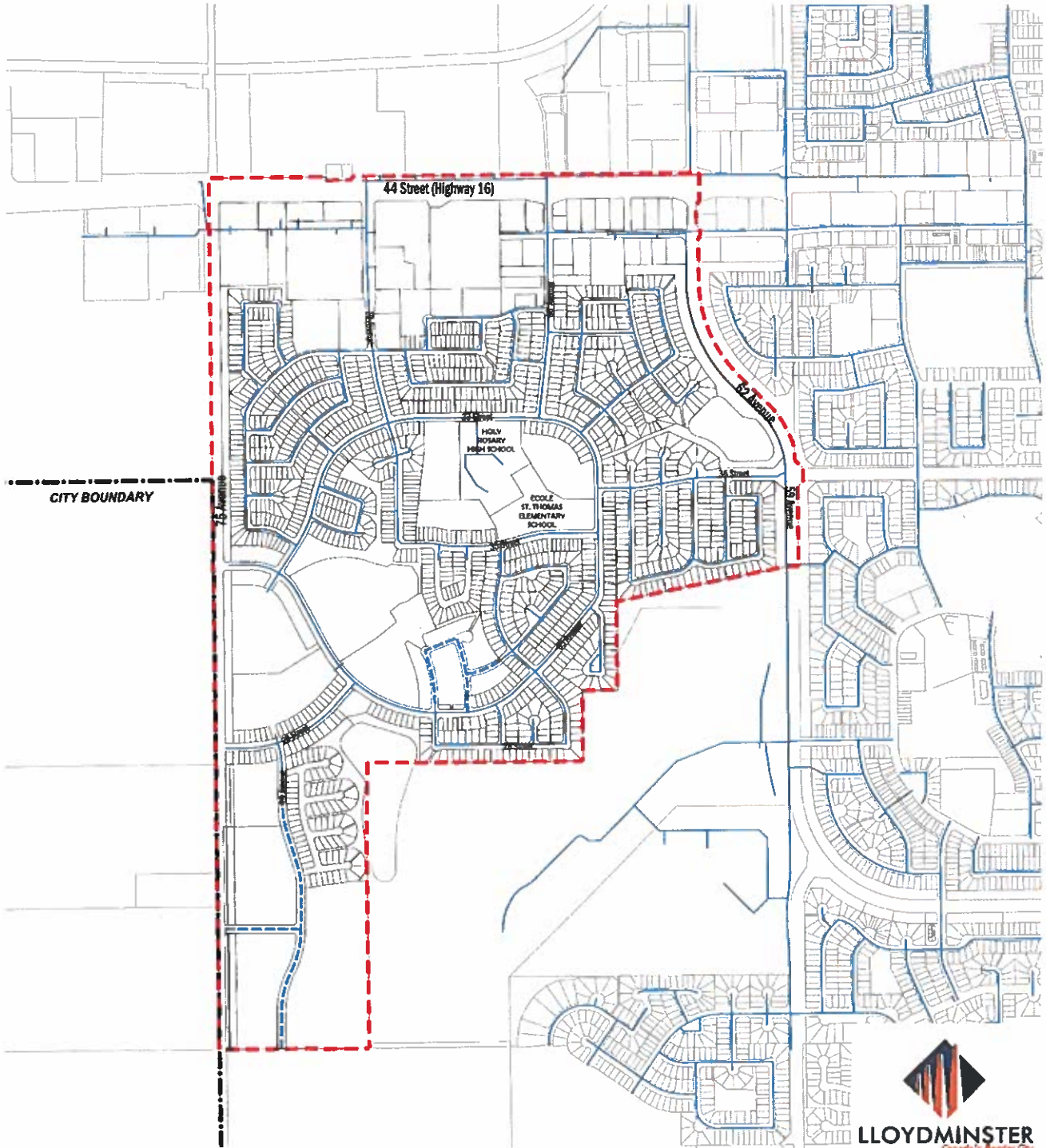
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PARKVIEW ESTATES
CITY OF LLOYDMINSTER

BYLAW NO. 12-2021

AREA STRUCTURE PLAN



LLOYDMINSTER
Canada's Border City

LEGEND

- - - ASP BOUNDARY
- - - PROPOSED WATER MAIN
- EXISTING WATER MAIN



WATER SERVICING
CONCEPT



scale 1:15,000

PARKVIEW ESTATES
CITY OF LLOYDMINSTER



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FIGURE 3

Revised by City of Lloydminster, Feb. 28, 2021

BYLAW NO. 12-2021

AREA STRUCTURE PLAN



LEGEND

- - - ASP BOUNDARY
- - - PROPOSED SANITARY
- EXISTING SANITARY



SANITARY SERVICING CONCEPT

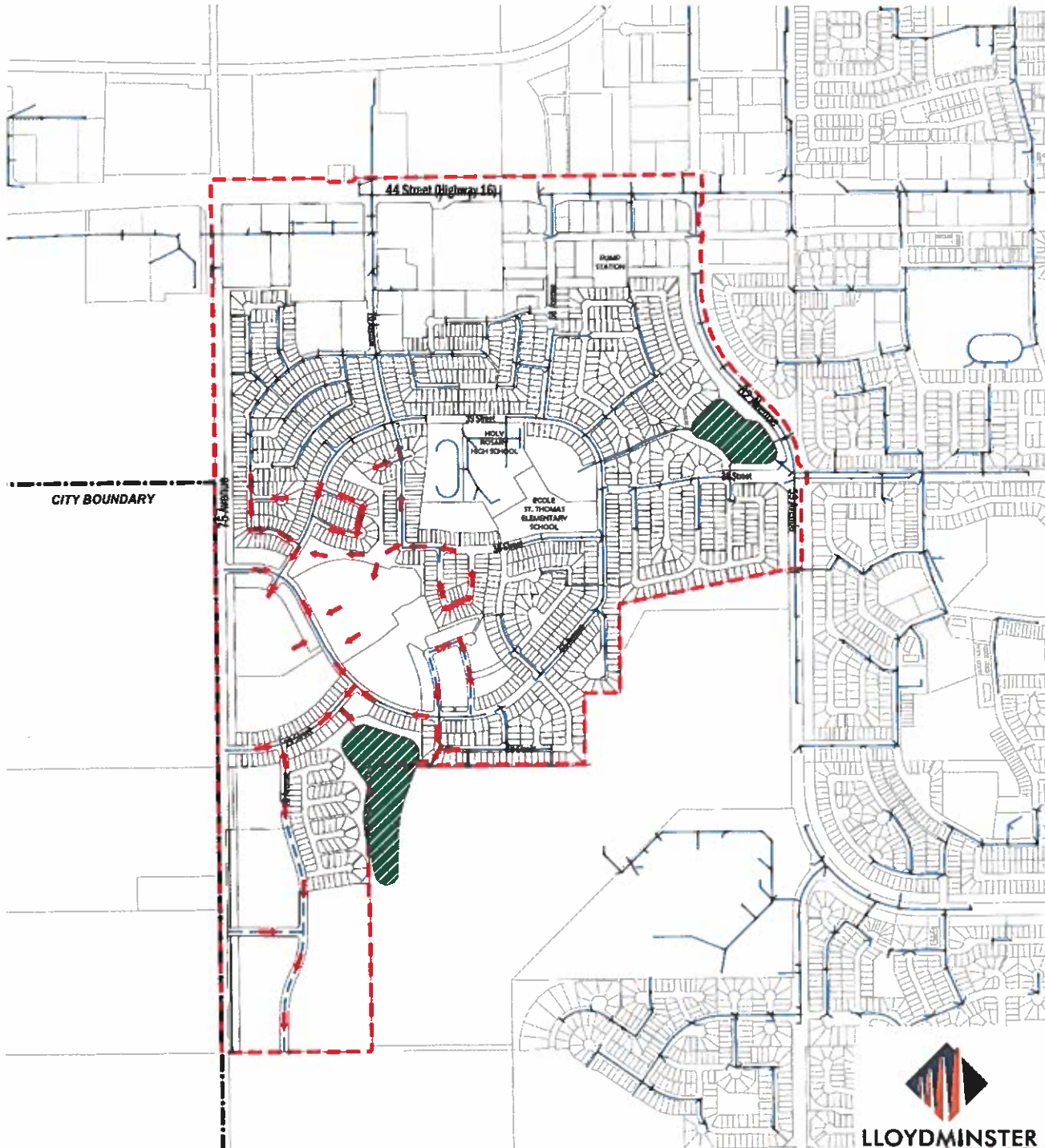


PARKVIEW ESTATES
CITY OF LLOYDMINSTER



BYLAW NO. 12-2021

AREA STRUCTURE PLAN



LEGEND

- - - ASP BOUNDARY
- - - PROPOSED STORMWATER SERVICING
- EXISTING STORMWATER SERVICING
- OVERLAND DRAINAGE
- STORMWATER MANAGEMENT FACILITY



STORMWATER SERVICING CONCEPT

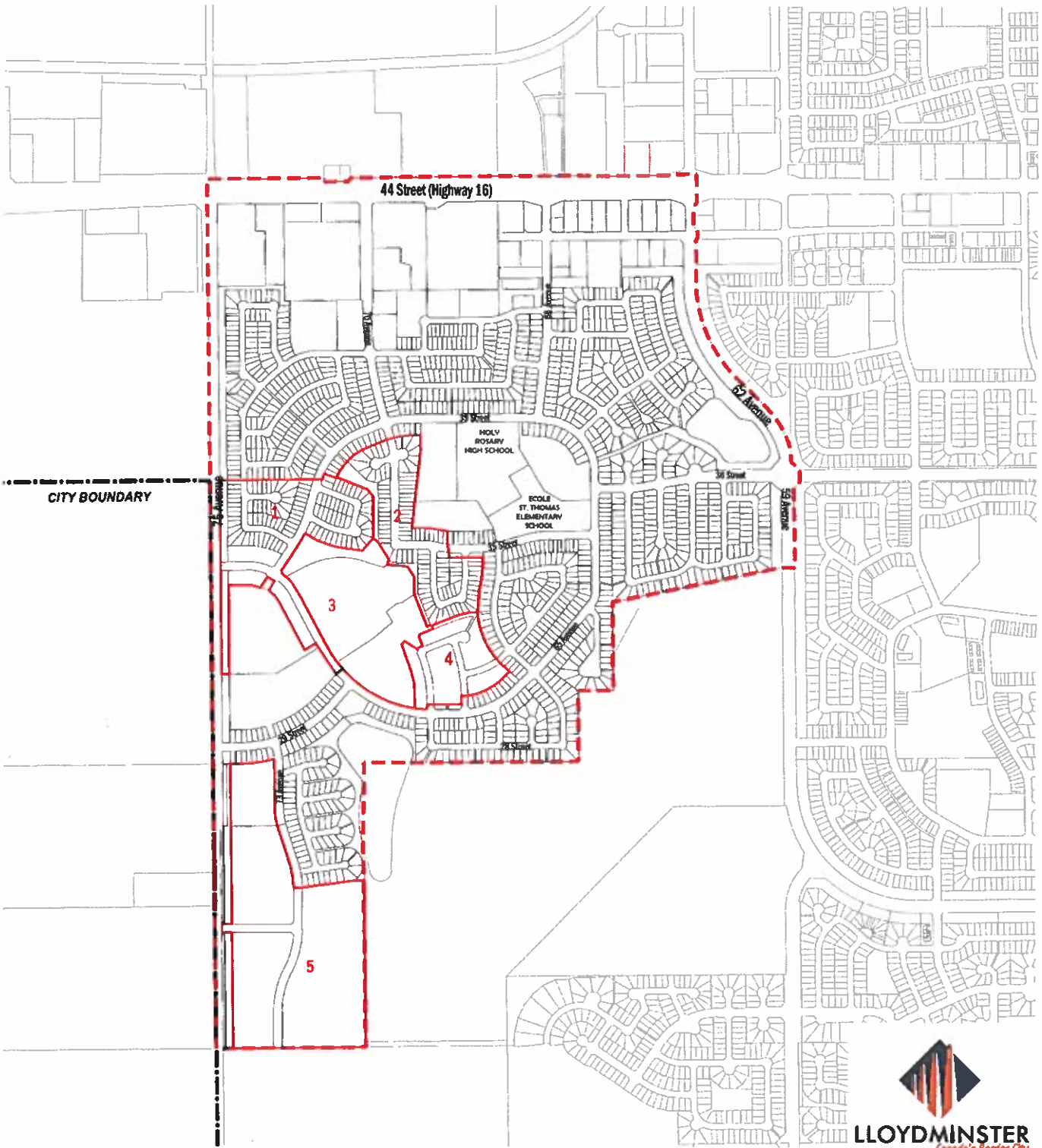


PARKVIEW ESTATES
CITY OF LLOYDMINSTER



BYLAW NO. 12-2021

AREA STRUCTURE PLAN



LEGEND

- - - ASP BOUNDARY
- STAGING BOUNDARY



LLOYDMINSTER
Canada's Border City



Mayor
City Clerk



STAGING CONCEPT



PARKVIEW ESTATES
CITY OF LLOYDMINSTER