

**Appendix “B”  
Architectural Guidelines and Controls  
Aurora**

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(a)

**Municipal Standards**

- All building designs must meet the current City of Lloydminster Land Use Bylaws and all applicable Building Code Regulations. Conformance with these Architectural Guidelines and Controls does not negate the municipal by-law requirements of the City of Lloydminster, applicable building code regulations, or the requirements of any other governmental organization having jurisdiction.

**Design Review**

- To ensure the quality of the aesthetics of the Project and to ensure that all Homes constructed in the Project are complementary in nature and aesthetically pleasing, the Purchaser must submit an application for plan review to the Developer prior to commencing construction on the lot. Each application shall consist of one (1) complete set of drawings including plans, elevations, section, and site plan in a 11” x 17” format.
- The Architectural Design Approval Committee shall review the application and recommend approval or rejection based on compliance with these guidelines and any Restrictive Covenant registered against the title to the Lot.
- Prior to commencement of construction the written approval of the application by the Architectural Design Approval Committee is required.

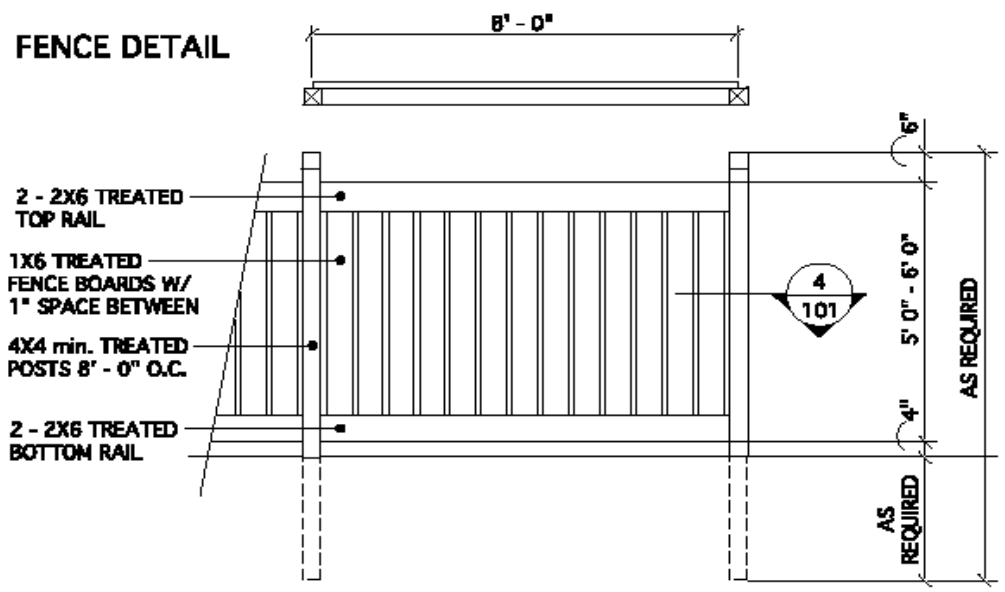
**Controls**

- All Homes will be restricted to be built within a building sitting envelope as determined by the Developer on a lot by lot basis taking into account landscaping concerns and requirements as well as driveway placement;
- A covered entrance to the Home with a minimum of one column is mandatory. The columns used to depict the theme of the Home shall be substantial in mass with step detailing and brick or stone at the base (minimum of three feet high).
- Roof slopes shall be a minimum of 6:12 with standard 2-foot overhangs; Lots 8 to 15, Lots 43 to 54 Subject to Architectural Control Amendment min 3:12 roof pitch
- All Homes shall have an address plate affixed to the front of the residence;
- Decorative trim shall be utilized around all exterior doors and windows;
- The exterior of the Home shall consist of materials comprised of siding, stucco, decorative stone, and/or brick.
- The following specifications with respect to garage requirements shall be complied with:

<b><u>Lot(s)</u></b>	<b><u>Garage</u></b>
Lots 38 to 50; Block 2; Plan 102194276	No Garage Required

Lots 1 to 15; Block 9; Plan 102194276 and Lots 43 to 69; Block 7; Plan 102194276	One (1) Car Garage Minimum Required
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- All fencing running along the rear yard boundary of the Lots backing onto municipal reserve shall be chain link or treated lumber as currently existing or as constructed by the Developer.
- All fencing (other than the chain link referred to above) shall be built in accordance with the detail below.



**4** FENCE ELEVATION - TYPE 1  
**101** SCALE: N.T.S. 04 - 29 - 05

- All driveways shall be constructed of:
  - Exposed aggregate concrete;
  - Swept concrete;
  - Interlocking Block;
  - Stone; and/or
  - Patterned concrete.
- Asphalt driveways are strictly prohibited.
- Within twenty-four (24) months of the issuance of the Occupancy Permit for the Home the landscaping of the Lot shall meet the following minimum standards:
  - A minimum of one (1) shrub shall be planted in a prepared shrub bed in the front yard; and
  - At least one (1) tree shall be planted in the front yard having a minimum caliper of sixty-five (65) mm.

**In the event that there is a discrepancy as to the interpretation of the above noted guidelines and controls, the interpretation and decision of the Developer shall be final and binding.**