

The City of Lloydminster

BUD MILLER ALL SEASONS PARK MASTER PLAN

November, 2023



Acknowledgements

The City of Lloydminster and the Consulting team recognize that Lloydminster and Bud Miller All-Seasons Park are located within Treaty 6 territory which spans across present day Alberta and Saskatchewan.

Great communities are built upon the active involvement and commitment of their residents. This was certainly reflected at the City of Lloydminster as the Bud Miller All-Seasons Park Master Plan was developed.

Stakeholder and public engagement were informative and vital and it is obvious that citizens are highly invested in their community. Thank you for your dedication to enhancing the lives of City of Lloydminster residents and your involvement in this planning process.

More specifically, thanks go out to:

- Community members who participated in the survey(s) and engagement process;
- Representatives of key user groups and community services stakeholders for sharing their perspectives and enthusiasm;
- All others who engage in the Park and who are invested in the betterment of the community; and
- City of Lloydminster Steering Committee, Council, Executive Leadership Team and Administration who provided their advice, information, support, and opinions and who recognize the importance of investing in long-term planning.

BUD MILLER ALL-SEASONS PARK MASTER PLAN

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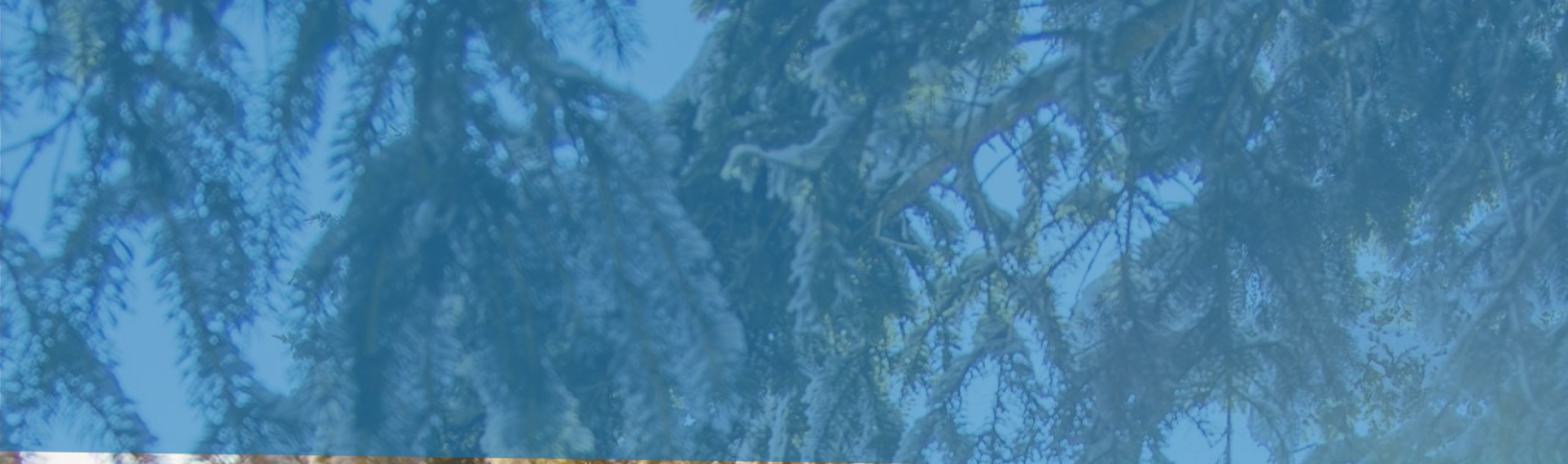


Photo Credit: The City of Lloydminster

EXECUTIVE SUMMARY

The City of Lloydminster commissioned Crosby Hanna & Associates to complete the Bud Miller All-Seasons Park Master Plan that includes recommendations to meet the needs of residents and visitors for the next 10 + years.

The project was guided by the City of Lloydminster Department of Recreation and Community Development. Stakeholder and public consultation occurred throughout all phases of the Master Plan development.

Phase 1 involved information gathering, leading to the completion of base maps showing understood existing conditions, and review of pertinent documents relevant towards the park design and function.

Phase 2 of the project engaged stakeholders and invited key user groups with foundational consultation. The initial stakeholder engagement, along with a public survey conducted by the City, informed the preliminary Master Plan. In December, 2022 initial site reconnaissance was completed which provided a general understanding of the Bud Miller All-Seasons Park site during the Winter season.

Phase 3 involved preliminary Master Plan development, delivering presentation boards suitable for stakeholder consultation. Crosby Hanna & Associates worked with The City to develop opportunities and goals that reflected stakeholder objectives and resident/user group needs. The preliminary concept presented key concepts for input and feedback. A summary of stakeholder consultation can be found in Appendix A: Final Stakeholder Summary.

Phase 4 of the project included public engagement, encompassing an in-person Open House held May 17th, 2023, and a virtual Open House, spanning two weeks. The Open Houses were accompanied by an online questionnaire for public input. This information is compiled in Appendix B: Open House Survey Responses.

Taking into consideration survey results, engagement feedback, and additional site visits held in April and May, 2023, **Phase 5** commenced, which involved finalizing the Park Master Plan. Presented in this report are a series of final recommendations for the City of Lloydminster to consider within a parameter of priorities, phasing, and financial impacts.

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Photo Credit: The City of Lloydminster

SECTION 1

1.0 INTRODUCTION

1.1 Introduction

Parks provide multiple pathways to wellbeing for individuals, residents, communities, and visitors. The City of Lloydminster has developed this Bud Miller All-Seasons Park Master Plan (the Plan) as a means of providing direction for future park redevelopment, rehabilitation, and improvements over the next 10+ years.

Bud Miller All-Seasons Park (BMASP) is located in the southwest corner of Lloydminster and is frequently visited by residents, visitors and tourists each year. Since being established in 1986, this 200-acre greenspace is noted for its lake views, abundance of natural forested areas, and diversity of recreation opportunities. The Park also plays host to many special community and private events such as weddings, picnics, community runs, and municipal Canada Day celebrations.

BMASP is a crucial piece to the community identity and requires sustainable long-term planning to maintain and bolster the character and amenities within the Park. Original elements and features are showing signs of degradation and nearing the end of their lifecycle. Replacement, remediation and/or relocation were priority discussions for features that contribute to the identity of the Park. The City retained Crosby Hanna & Associates to develop a Master Plan to guide the redevelopment of the Park.

Throughout the development of the Plan, the project team engaged with residents and stakeholders to better understand the opportunities and challenges presented. Stakeholder engagement and public consultation has been a key resource, with a broad array of perspectives and responses collected through various engagement methods. These included focus-group meetings, 910 responses provided as part of a City led Needs and Demands survey (Phase 1), 20 groups participating as part of stakeholder engagement, and 635 individuals providing feedback as part of the Open House Survey.

This report summarizes the findings from the site assessment, consultation process, and concept development which led to the creation of the redevelopment Master Plan.

To see the detailed findings from these engagement activities please refer to Appendix A: Final Stakeholder Summary, and Appendix B: Open House Survey Responses.

BUD MILLER ALL SEASONS PARK MASTER PLAN



Figure 1: Location of Bud Miller All Seasons Park

1.2 Process

The Bud Miller All-Seasons Park Master Plan aimed to accomplish the following:

- Identify and address public and stakeholder needs and priorities;
- Build a comprehensive overview and inventory of the Park;
- Review current and future park trends and best practices within the industry;
- Review strategies for climate resiliency within the Park Redevelopment;
- Provide a set of recommendations and concept to support a 10+ year vision for the Park;
- Provide an implementation strategy for recommended action items and priority sequencing; and
- Provide a financial impact assessment for budgets, phasing, operations and maintenance of the Plan.

1.3 Approach and Methodology

The Plan was created through a collaborative effort between the City of Lloydminster and Crosby Hanna & Associates, along with the invaluable contributions of the public and other stakeholders. The approach to producing the Plan included the following major activities:

- Gathering of background data and review of documents, to provide a baseline understanding of BMASP existing conditions, and identify constraints to future implementation and opportunities to build on;
- Consultation with the public, key stakeholders, Council, and Executive Leadership Team (ELT) members;
- Identifying a set of goals and key ideas to work towards in developing the Master Plan concept;
- Identification of issues and opportunities;
- Development of a concept plan to address the issues and opportunities and illustrate the vision; and
- Preparation of the Plan, as an overall document consisting of inventory and background analysis, stakeholder and public consultation, Master Plan, implementation, financial summary, and conclusion.

1.4 Driving Factors

Driving factors for the Master Plan were developed through engagement processes and contributed to ideas and conversations for BMASP re-development.

Primary driving factors include:

- Inclusive Recreation opportunities / Accessibility
- Sense of Place / Enhancing Park Character
- Environmental Responsiveness and Climate Resiliency
- Security, Maintenance and Operations

Complimentary areas of focus include:

- Recreation and Amenities – What is trending vs. waning.
- Core area and Amphitheatre
- Festival sites
- All-Season Use

1.5 Role of the Master Plan

The Bud Miller All-Seasons Park Master Plan (the Plan) is a single, comprehensive document and guides the development and use of the Park, including:

- Recreational amenities and placement in the Park;
- Trail, path and other surfacing improvements, and extensions that provide and promote Active transportation routes;
- Safety features and lighting;
- Accessible and inclusive considerations;
- Climate resiliency and sustainable considerations;
- Future expansion opportunities;
- Lifecycle review; and
- Other amendments.

Master plans help set direction and guidance for long and short-term growth, adjustments, and rehabilitation. This Plan is intended to be a document specific enough in nature to inform park development, but flexible enough to be adaptable to changing conditions.

The Master Plan should be used as a template to guide future planning and feature development within Bud Miller All-Season Park. However, further study and review as part of design development and detailed design is recommended as part of realization and implementation of future development.

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Photo Credit: The City of Lloydminster

SECTION 2

2.0 INVENTORY AND ANALYSIS

In the opening stages of the Master Plan process, Crosby Hanna & Associates undertook an extensive review of documents pertaining to the City of Lloydminster and Bud Miller All Seasons Park. This included a review of City, Provincial and Federal plans and policies, historic Master Plan documents, historical and recent photographs, existing plans, maps and air photos, and online resources such as the Bud Miller All Seasons Park and Discover Lloydminster websites, and social media pages.

The Consulting Team visited the Bud Miller All-Seasons Park site on multiple days, as part of the engagement phasing. Site visits on December, 2022, April and May, 2023. The initial site visit was covered mostly by vehicle due to cold weather conditions, however also involved on-foot exploration. April and May, 2023 allowed exploration of the Park under a range of warm and cold seasons. Digital photography was used for all site visits to record existing conditions.

The Consultants also made use of digital 360 imagery provided by ISL for the City of Lloydminster, which covers views from both vehicle and pedestrian routes.

Digital photography of specific features and seasons was made available to the Consultant team through stakeholders.

2.1 Planning Context

Along with presenting its own goals, key ideas, and guiding principles, it is important to ensure that the Master Plan strategies listed within this document are coordinated with the City's and District's other planning documents. At all stages of implementation of the recommendations presented, these plans should be referenced and crosschecked to ensure compliance. Any discrepancies present may involve amendment of the appropriate document to ensure consistency is maintained.

2.1.1 Existing Plans and Policies

This Master Plan should act as part of a total package with the following documents. Relevant sections, strategies, and policies are listed for reference.

City of Lloydminster 2022-2025 Strategic Plan

The City's Strategic Action Plan is one year within its timeframe, and its vision, mission, core values, sustainability pillars, and key priorities all very much align with those of this Master Plan. Innovative, inclusivity, sustainable development, accountability and transparency, and striving towards resiliency and excellence are at the heart of the Master Plan and City's Strategic Plan.

Lloydminster Land Use Bylaw (No. 5 2016)

Bylaw No. 5 of 2016 pertains to land use zoning. It defines responsibilities and regulates the uses and development of land and buildings within the City of Lloydminster to achieve fair, orderly and economic development of land. Bud Miller All Seasons Park falls under the Urban Park (UP) Land Use District outlined in Section 9.3, and must also consider General Regulations, that apply to all districts, outlined in Section 4.

Municipal Development Plan 2013 – 2032 (No. 1 2013)

Bylaw 01-2013 is halfway within its planning timeframe and is intended to guide the Land Use Bylaw and growth and development of the City of Lloydminster. Section 3.0 Vision and Strategic Priorities provides a vision for Lloydminster by 2032 and highlights a set of strategic priorities to help towards decision making on issues and developments not addressed in other Civic policies. A series of sections highlighting a list of goals, objectives and policies are most relevant to the BMASP Master Plan:

- Section 5: Complete, Healthy and Livable Lloydminster
- Section 7: Environmental Management
- Section 11: Parks, Recreation, Open Space, Trails and Schools
- Section 12: Urban Design and Historic Preservation

Municipal Development Plan – Connection to Our Future (No. 14 2023)

Bylaw 14 - 2023 is a document that provides guidance for how Lloydminster will develop and change over time with consideration given to the needs of the people who live, work, and do business here. It provides consideration to all aspects of a community such as transportation, environment, social aspects, arts, and culture, etc. Section 2. Our Values, Preferences, and Anticipated Outcomes outlines core values, community drivers, and preference for community drivers, all established through community input. Section 3. Our Future Urban Form presents the Future Land Use Concept for Lloydminster – how different designations of land are applied to the existing and future development areas across the city. Section 4. Our Connection to the Future presents the policies that will be used to guide future decision making by all who use this document. The policies are categorized by values and informed by the community input received.

Municipal Development Standards (October 2020)

Section 8 – Landscaping and Fencing covers the minimum landscaping requirements for a given piece of land, as well as approved materials, procedures and maintenance.

Official Community Plan (2014)

the Lloydminster Planning District Commission (2014) lays out the following Regional Goals in Section 2 and Section 3:

- To utilize the natural resources in the Planning District in a manner that is economically, socially and environmentally sustainable.
- To collaborate in regional land use matters such as transportation, storm water and watershed management, utilities, recreation and economic development.
- To promote and encourage the protection and preservation of animal and plant communities, wildlife habitat areas and ecosystems in the Planning District.
- To encourage the subdivision and development of land in the Planning District in an environmentally sustainable manner.

This Official Community Plan has a comprehensive focus that touches on all aspects of life in the region.

Area Structure Plans Bylaws

- Parkview Estates ASP (Bylaw 12-2021)
- Lakeside ASP (Bylaw 09 - 2019)

Master Plan Documents and Studies

- City of Lloydminster Trails and Sidewalk Master Plan (2022)
- The City of Lloydminster Stormwater Master Plan (2015)
- Recreational, Cultural and Parks Facilities Master Plan (2016)
- Lloydminster Recreation Facilities: Feasibility study (2020)
- Lloydminster and County of Vermillion River Joint Regional Growth Study (2019)

Provincial and National Guidelines

Several longstanding and new action plans, frameworks, networks, and guidelines for parks and recreation, both Provincially (Saskatchewan, Alberta) and Nationally. The principles within these plans will help to inform recommendations for this Master Plan and should also be cross-referenced often throughout the implementation of this plan.

Saskatchewan

- SaskCulture: 2020-2025 Strategic Plan
- Sask Sport Inc. Sport Development Strategic Plan – 2017-2021
- Saskatchewan in Motion: 2019 – 2022 Active Saskatchewan Strategic Plan
- SaskOutdoors – Saskatchewan Outdoor Environmental Education Association.
- Saskatchewan Recreation and Parks Association

Alberta

- Alberta Recreation and Parks Association
- Ministry of Culture and Tourism, Government of Alberta: Alberta Sport Action Plan (2019-2029)
- Government of Alberta: Going the distance: The Alberta Sport Plan (2014-2024)
- Government of Alberta: Active Alberta 2011-2021

Canada

- Canadian Parks Council: Parks for All an Action Plan for Canada's Parks Community (2017).
- Joint Initiative of the Interprovincial Sport and Recreation Council and the Canadian Parks and Recreation Association: A Framework for Recreation in Canada 2015: Pathways to Wellbeing.
- Government of Canada (and provincial and territorial governments): Let's Get Moving: A Common Vision for Increasing Physical Activity and Reducing Sedentary Living in Canada (2018).
- The Accessible Canada's Act (2019) and Canada's Disability Inclusion Action Plan (2022).
- Canadian Parks Council (in collaboration with representatives from federal, provincial, and territorial park systems): Connecting Canadians with Nature: An investment in the wellbeing of our citizens (2014).
- National Wildlife Federation and Natural Learning Initiative: Nature Play and Learning Spaces: Creating and managing places where children engage with nature (2014).
- Truth and Reconciliation Commission of Canada: Calls to Action (2015).
- Pan-Canadian Framework: On Clean Growth and Climate Change (2016).

LEGEND

- existing paved trails (concrete/asphalt)
- unpaved trails (crushed aggregate)
- existing natural forest
- existing water network
- existing low areas
- recreational amenities
- existing buildings
- existing roadways
- existing trees

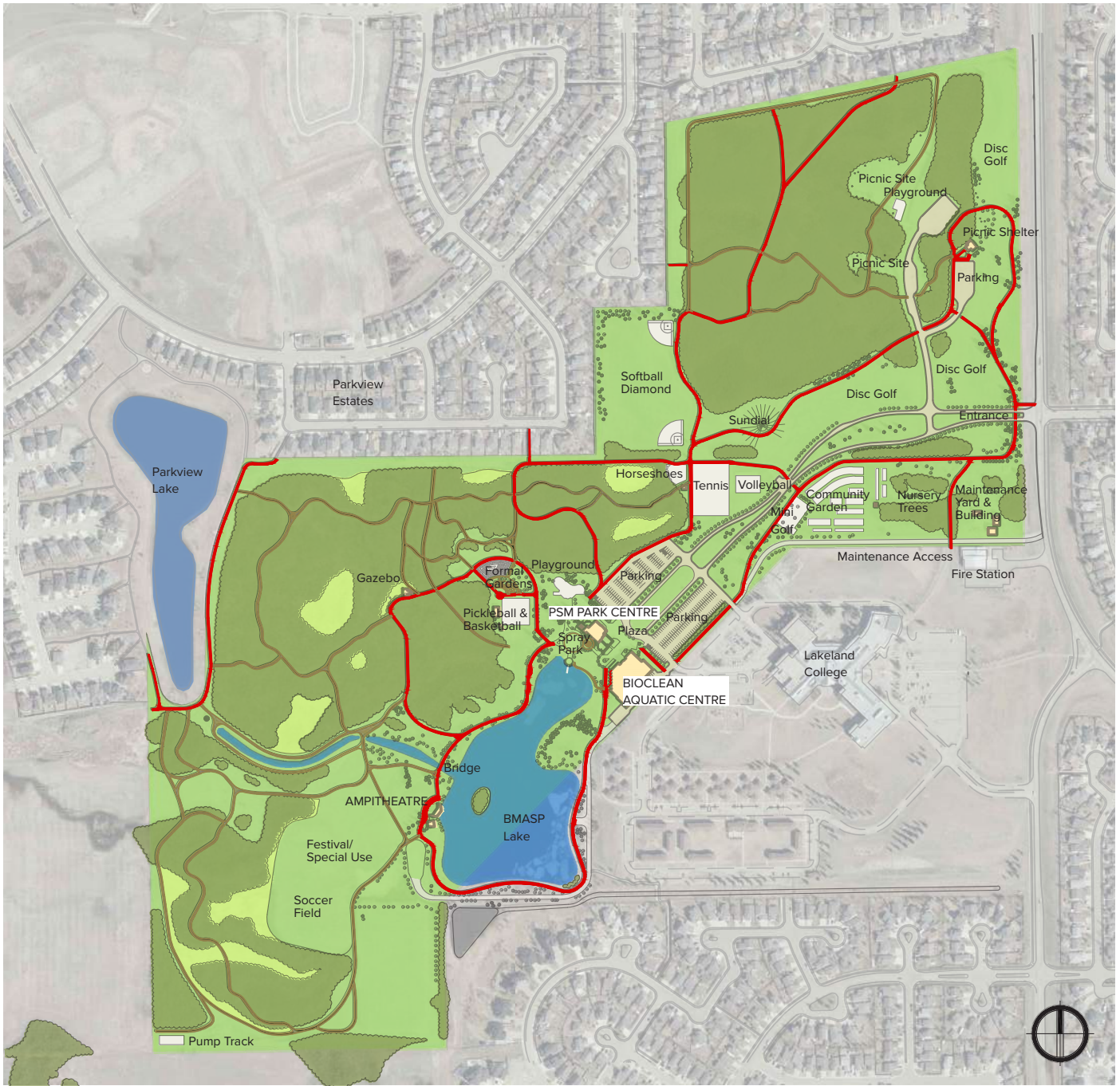


Figure 2: BMASP Existing Conditions

2.2 Existing BMASP Conditions

Existing conditions and current programming of Bud Miller All-Seasons Park are illustrated on Figure 2. These conditions form the framework from which all other natural systems (See Figure 3) and conditions are understood.

2.3 Existing Natural Resources and Systems

2.3.1 Existing Climate and Seasons

Lloydminster is located within the Humid Continental climate zone which is characterized by having four distinct seasons and warm summers and sits within the mixed grass Aspen Parkland Ecoregion.

Lloydminster experiences an average temperature of 2°C. January is the coldest month with an average temperature of -14.3°C. July is the warmest with an average temperature of 17°C. The region is relatively dry, experiencing an average annual precipitation of 316.7 mm of rainfall and 98.1 cm of snowfall for an average of 408.8 mm of total precipitation. (Environment Canada)

Climate change has already begun to affect temperatures and weather patterns globally. Over the next decades in a high carbon future, the impacts of climate change will be more pronounced. Projections in the region call for an increase in mean annual temperature of 2.2°C over the next three decades and an increase of 4.4°C by 2080. The mean summer temperature is projected to increase from 16°C to 20.2°C by 2080. Very hot days of +30°C and above will increase from a historic mean of five days annually to thirty by 2080. Along with this increase in temperature there is also a projected increase in precipitation of fifty millimeters by 2080. (Climate Atlas)

It is increasingly important to preserve and protect the natural resources within Bud Miller All-Seasons Park, and develop climate resilient strategies in order to adapt and mitigate against possible stresses on natural systems and infrastructure within the Park.






2.3.2 Vegetation

The Park hosts a variety of habitats that support various plant communities, vegetation, trees, and wildlife.

The formal garden contains a mix of native plants, prairie grasses, and wildflowers complemented by the addition of annual bedding plants. Adjacent to this area is a hedge maze and an arboretum. The arboretum features various specimens of ornamental trees to contrast with adjacent native forested areas.

Large, forested areas are located along the north and western sections of BMASP. Within the forested areas of the park an abundance of deciduous and coniferous trees mix with wildflowers and groundcover vegetation. The predominant tree species within the forested areas are poplar,

LEGEND

-  existing turf areas
-  existing natural forested areas
-  existing low areas
-  existing lakes and channels
-  existing single trees

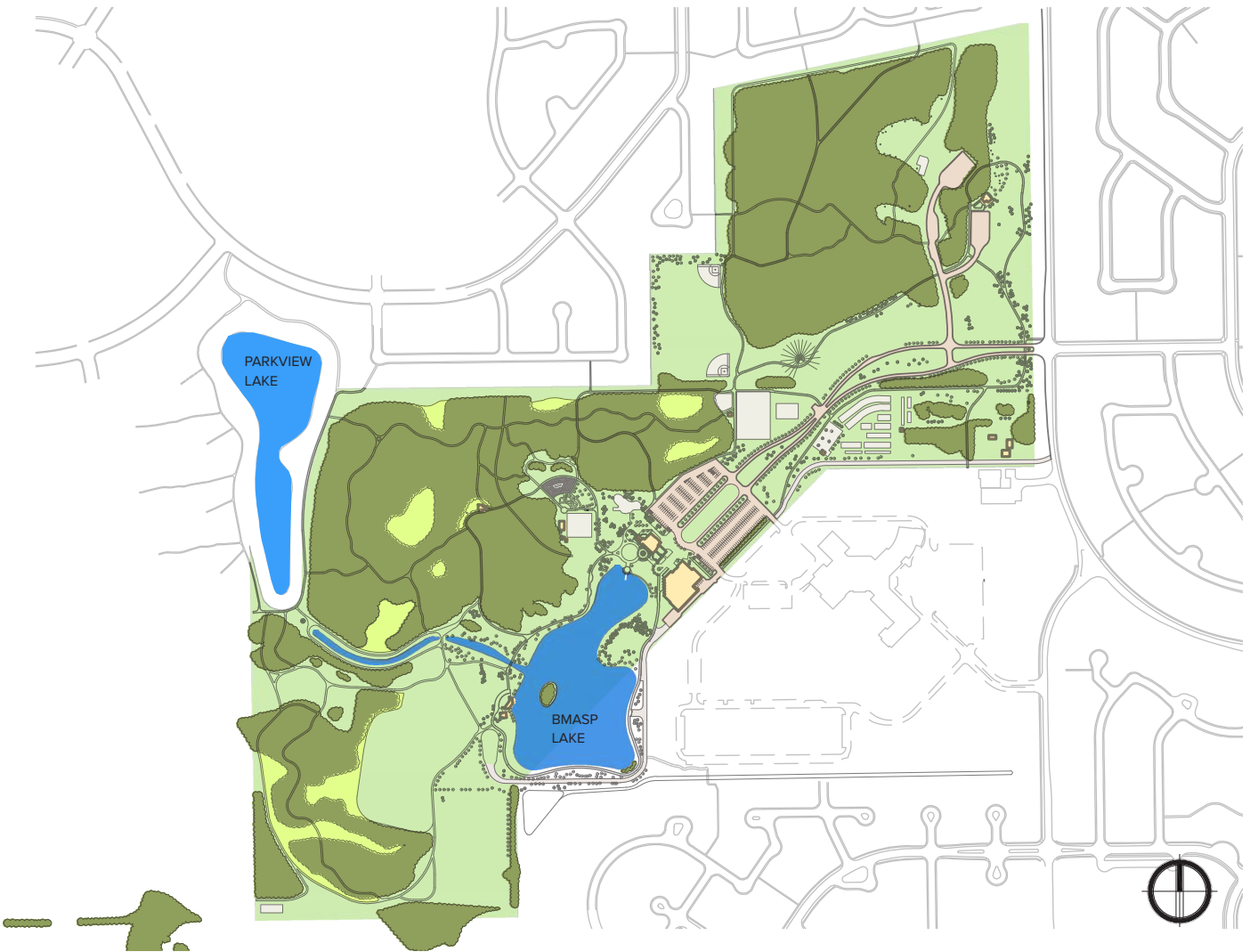


Figure 3: Existing Natural Systems

BUD MILLER ALL SEASONS PARK MASTER PLAN



Photo Credit: Tamara Tizzard

Predominant aspen forest canopy



Blue Spruce Tree



Scots Pine Tree



Saskatoon berry



Chokecherry



Raspberry



Native Strawberry



Bulrushes

pine, and spruce. A number of fruit bearing shrubs are also present within the park including chokecherry, blueberry, raspberry, saskatoon, and strawberry. In the waterlogged sections of the lakeshore willow and bullrushes provide habitat for wildlife.

2.3.3 Existing Water Systems

The ten-acre lake, south of the PSM Park Centre, was constructed for stormwater retention, wildlife enhancement, and to provide recreational activities for visitors including kayaking, canoeing, pedal boating, fishing, and skating. The lake is stocked with rainbow trout annually by the Alberta Conservation Association. The lake shore is predominantly constructed in a natural manner to anticipate natural fluctuations in the water level, with hard edge treatments occurring immediately adjacent to the Park Centre.

A stormwater retention pond in the Parkview Estates development connects with the BMASP lake through an overland drainage channel. These two lakes flow out at the southeast corner of 10-acre lake just south of Lakeland College.

2.3.4 Wildlife Habitat and Corridors

The Park features many habitats suited to a diversity of wildlife. The constructed lake supports a wide range of flora and fauna, including waterfowl, rainbow trout, water bugs and insects, muskrats, amphibians, and plant-like algae. The island within the lake acts as a nesting ground for a wide range of bird species.

Dryland areas support a diversity of large and small animals ranging from small insects to ground and tree squirrels, mice, deer, foxes and snowshoe hares. A wide variety of bird species inhabit the park, including but not limited to; rose-breasted grosbeak, American robin, house wren, sparrows, yellow warbler, black-capped chickadee, common tern, Baltimore oriole, northern flicker, blue jay, red-winged blackbird, black-billed magpie, American crow, common raven, barn swallow, cedar waxwing, western meadowlark, and Canada geese.

Corridors





Vegetation corridors contribute significantly to wildlife habitat. Corridors provide biodiversity, protection, and enhance water resource management. Corridors are important habitat features to permit and encourage the movement and migration of species. (Land Mosaics: The ecology of landscapes and regions, pg. 145)



BMASP acts as a vegetation corridor for wildlife and connects to a network of fragmented forests and shrub cover in fields south and west of the Park. Numerous ponds and wetlands west of BMASP also act as habitat steppingstones for migrating waterfowl.

Corridors also provide recreational opportunities and pathway connections which can assist in community cohesion.

BUD MILLER ALL SEASONS PARK MASTER PLAN

LEGEND

-  existing vehicle access
-  existing maintenance access
-  existing pedestrian trails and access
- 

 Holy Rosary School
 Ecole St. Thomas Elementary

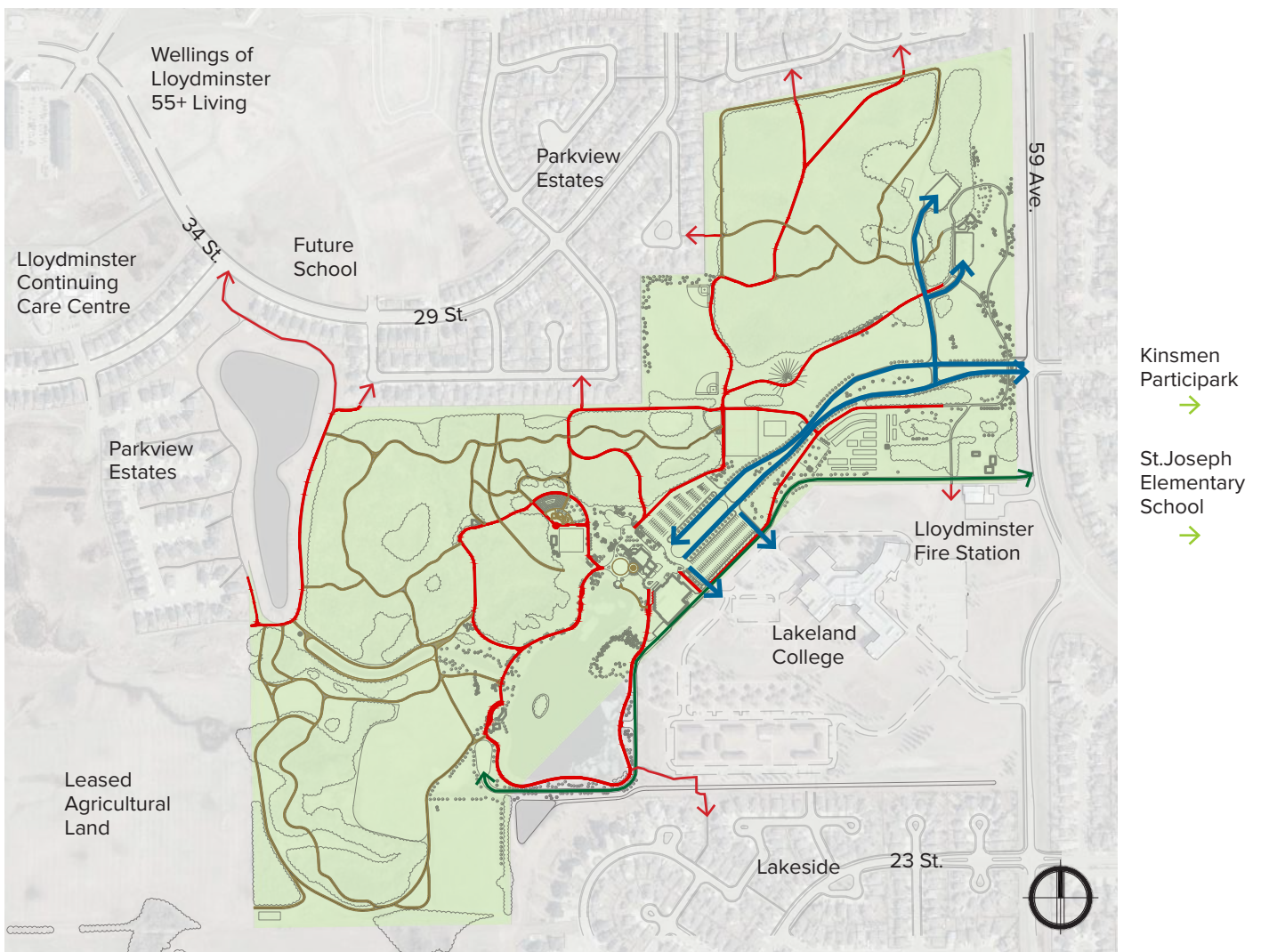


Figure 4: Park Edges and Connections

2.4 Park Edges and Connections

The perimeter of BMASP totals over five kilometers and features various distinct edge conditions.

Residential development abuts the north and west edges of the Park, with several pedestrian paths creating important pedestrian access points into the Park. Within the park are buffer areas including a mix of forested areas and berms, that separate immediate park use from backyard views.

The southwest portion of the Park borders undeveloped land, currently being leased by the City for agricultural use. This area is designated to be future residential development as part of the 2019 Joint Regional Growth Study and Parkview Estates ASP (2014; amended 2021).

Lakeland College and Lakeside subdivision borders the Park to the south-east, with pedestrian and controlled vehicle access through the College property. Lakeland college offers BMASP overflow parking through gated entry, however further coordination is required to ensure this is provided during peak events.

A service road and granular parking area just south of the lake provides maintenance access, and is used for complimentary shuttles for west park users during large events.

59th Ave is a major arterial road which connects BMASP to the larger community.

2.5 Existing Infrastructure and Amenities

2.5.1 Park Access and Parking

The primary vehicular access to the Park is off 59th Ave. This paved entrance road is comprised of in-bound and one out-bound lane, separated by a wide vegetated median. The main drive leads to parking areas for picnic sites for the northeast area of the Park, and a central parking lot adjacent to the PSM Park Centre and BioClean Leisure Centre.

2.5.2 Buildings

Existing buildings include the PSM Centre (Park Centre), the BioClean Aquatic Centre, Amphitheatre, Picnic Shelter, Gazebo, recreation buildings for tennis, pickleball and mini-golf areas, and the Maintenance Yard Building.

The BioClean Aquatic Centre, while set within the boundaries of the Park, is not considered for this Master Plan. The Aquatic Centre is addressed as part of the Recreational, Cultural and Parks Facilities Master Plan.

BUD MILLER ALL SEASONS PARK MASTER PLAN



PSM Park Centre



Existing Gazebo



Existing Amphitheatre



Existing Amphitheatre Washrooms



Existing BioClean Aquatic Centre



Existing Bridge



Photo Credit: City of Lloydminster

Existing Playground - Core Area



Photo Credit: City of Lloydminster

Existing Picnic Shelter



Photo Credit: City of Lloydminster

Existing Spray Park



Photo Credit: The Putting Zone

Existing Mini-Golf Course



Photo Credit: American Sundial Society

Existing Sun-dial

2.5.3 Amenities

Bud Miller All Seasons Park hosts a wide variety of activities year-round, including but not limited to:

- Ball diamonds
- Basketball
- Beach volleyball
- Bike pump track
- Bike trails
- Bird watching
- Canoeing and kayaking (bring your own)
- Community events
- Concession services
- Cross country skiing
- Disc golf
- Gardening
- Horseshoe pits
- Ice skating
- Indoor pool (Bioclean Aquatic Centre)
- Maze garden
- Pickle Ball
- Picnic areas/fire pits
- Playgrounds
- Snowshoeing
- Spray-park
- Tennis courts
- The Putting Zone - minigolf
- Walking paths

2.5.4 Trails

The extensive system of trails throughout BMASP is an attractive and well-used trail network for the City. There are over 15 kilometres of existing formal trails within the boundaries of the Park. Trails include trails and plazas, asphalt major trails, granular trails, bare-earth desire-trails or footpaths, and cross-country-ski trails.

Used by casual visitors and for organized events, the trails are noted as one of the biggest assets within the Park. They are also one of the major concerns of users, involving maintenance issues, user conflicts, accessibility and safety anxieties being noted as primary concerns.



During winter months, the maintenance staff grooms major pedestrian trails and around 7.7 kilometers of cross-country ski trails for all-season use.

2.5.5 Other Site Features

The Sundial is a significant feature in the Park that has been onsite since the Park opening. The Sundial is a well-known public art piece and tourist attraction for City visitors. Once considered the world's largest sundial, it has now been surpassed, however is still substantial in size.

The sundial shows signs of wear, and it is approaching the end of its lifecycle and requires attention. Posts, unit paving, and other features are in need of replacement or upgrades.

LEGEND

-  existing paved trails (concrete/asphalt)
total 5700 lin. m.
-  existing unpaved trails (granular)
total 6400 lin. m.

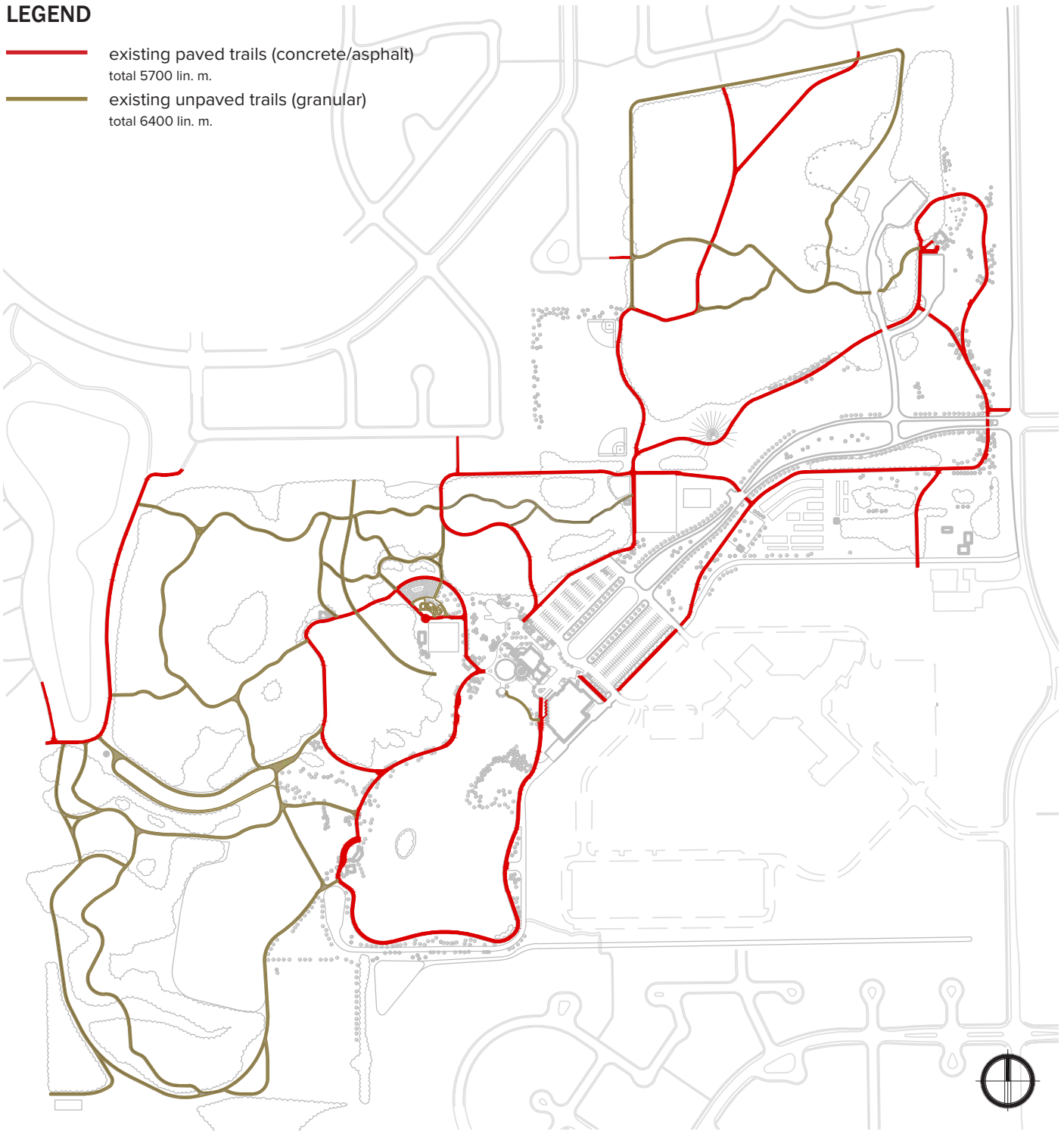


Figure 5: Existing Trails Plan

2.5.6 Programming and Events

There are many small and large events that occur within BMASP throughout the year. The PSM Centre hosts many day camps and workshops, and the amphitheatre is used for various outdoor dance and musical performances. Outdoor festivals include but are not limited to: Winterfest, Movie Night in the Park, Fall Festival – by Lloydminster and District Co-op, Lloydminster Event and BBQ, Canada Day, and the Pinoy Fiesta Philippines Festival.

Organized walks and runs include the Winter Runderland, Fun Run, and Terry Fox run, among others.

The City of Lloydminster also rents park facilities, including the PSM Centre and Amphitheatre, for weddings, galas, and other private functions.

Concerns with existing programming and events involve access to the south-west corner of the Park from the east entrance, lack of servicing, and under-utilization of both the PSM Centre and Amphitheatre for programming and event use.

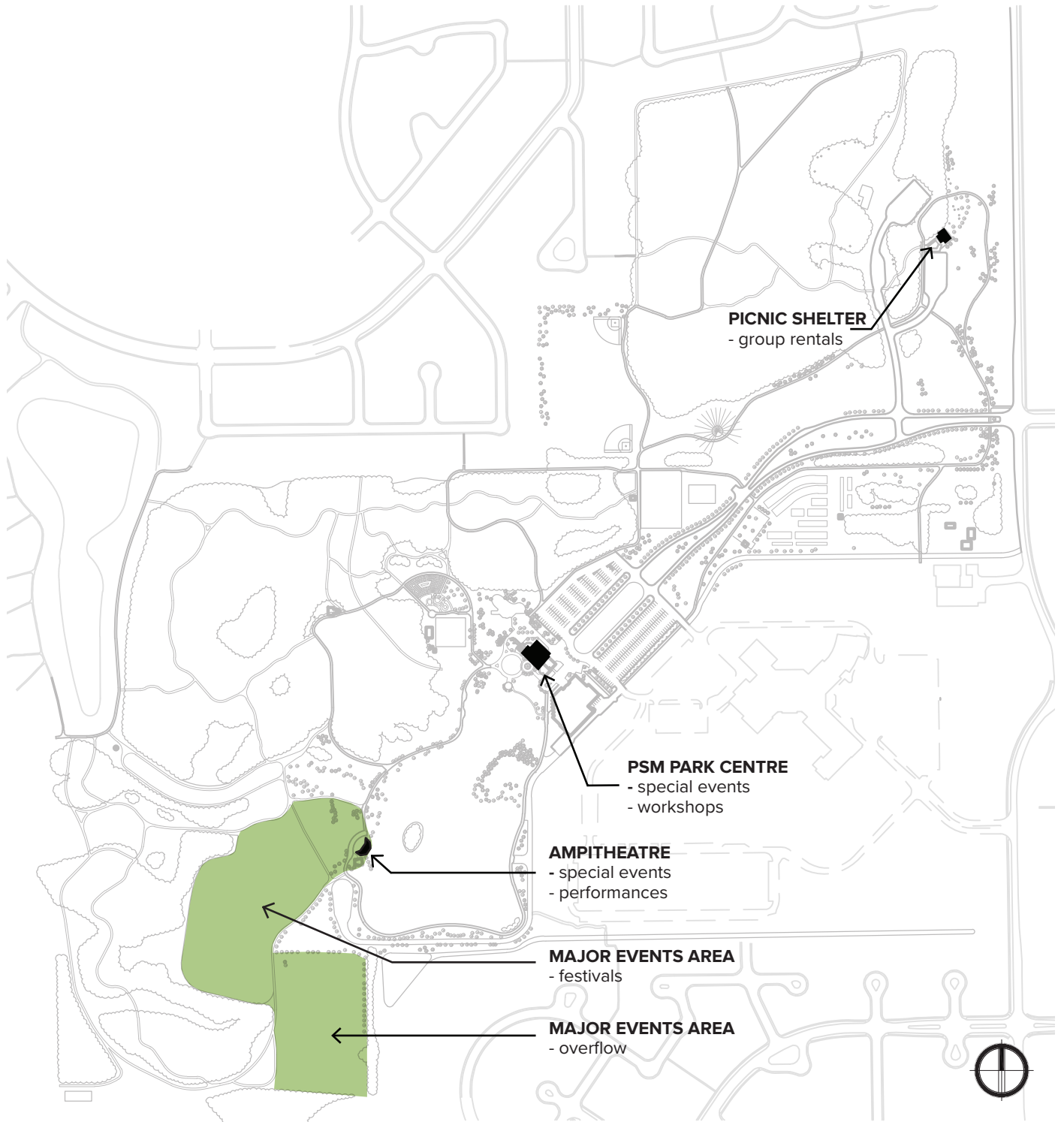


Figure 6: Existing Programming & Events

2.6 Security, and Maintenance

The Park is well-maintained and is considered a major asset of the Park by the Lloydminster community. The Maintenance staff take great pride in ensuring concerns are addressed in a timely fashion and provide an additional level of customer service for visitors in the Park through their ambassadorship. Vandalism is documented as noted issues within the Park, however, is quickly addressed by staff.

There are numerous lifecycle items and long-term maintenance concerns that are to be addressed as part of this Master Plan. The Master Plan also considers maintenance requirements for recommended implementation of new or replaced amenities and features.

2.7 Safety and Inclusive Design

Users note that the Park generally feels safe, however increased pedestrian lighting should be provided as a means of increased seasonal use and perceived feeling of safety.

It is understood that previously existing bollard pedestrian lighting along the trails was removed due to vandalism issues. The Master Plan considers re-integrating pedestrian lighting as part of the Plan.

Recreation and leisurely uses in the Park are generally well defined and do not result in conflicts or safety concerns within the Park. However there are some noted conflicts:

- Berms located in the northeast area of the Park are used as toboggan hills. These runs conflict with perimeter fencing.
- The existing disc golf course intersects pathways and vehicle traffic and conflicts with pedestrian and vehicle users.
- While prohibited, dog owners often allow dogs off-leash within the Park.

2.7.1 Accessibility and Inclusivity

Accessibility is defined as something that is easily used or accessed by people with and without disabilities (Merriam-Webster).

While accessibility has often been largely used solely as a term to defined wheelchair accessibility, there are many other disabilities that require consideration, including but not limited to: visual impairment; deaf or hard of hearing; mental health conditions; intellectual disabilities; brain injuries; autism spectrum disorder and other physical and cognitive disabilities. Some disabilities are not visible and involve social and/or economic barriers.

Inclusive design is a methodology that looks to accommodate a full diversity of people, including but not limited to all ages, gender, race, culture, language, abilities, and economic realities.

BMASP currently provides accessible and inclusive amenities within the Park such as paved trails

around the lake, barrier-free access to major buildings, accessible parking, and various amenities for multi-generational use. The Park, however, can benefit residents further by providing more accessible and inclusive infrastructure and amenities within the site.

Areas noted for increased accessibility involve:

- Additional parking to west side of park.
- Paved trails at north and southwest entrances into park.
- Accessible picnic tables and picnic areas.
- Raised garden beds for wheelchair users.
- Accessible playground surfacing and equipment for inclusive use.
- Modifiable or movable recreation equipment such as basketball nets.
- Added accessible washrooms.
- More senior-friendly recreation opportunities.
- Free equipment rentals.



SECTION 3

3.0 STAKEHOLDER & PUBLIC ENGAGEMENT

The City of Lloydminster and Crosby Hanna & Associates completed various stakeholder and public engagement events and data gathering process, for the development of the Bud Miller All-Seasons Park Master Plan.

3.1 Needs and Demands Survey

On January 30, 2023, the City of Lloydminster launched the first phase of public engagement with a community survey. This survey explored the current uses, satisfaction, and vision for the area. The survey was available until February 22, 2023, online at yourvoicelloyd.ca/BudMiller, and via paper at City Hall, Lloydminster Public Library, Bioclean Aquatic Centre, Operations Centre facilities and Winterfest community event. A total of 945 survey responses were collected through this engagement.

Through the initial consultation on February 14 and 15th, the project webpage also featured a virtual Q & A section which collected four submissions. This tool allows the City residents/visitors to discuss project-related questions on a virtual setting.

Throughout the consultation period, the project webpage had 1,487 individuals view the project webpage, 1,113 were informed of the activities on the page and 910 engaged in the survey or Q&A tool. Please note these statistics do not include residents who engaged via paper surveys.

The following data is a conclusion of the feedback received from the survey.

3.1.1 Main takeaways from the Needs and Demands Survey

Main takeaways from the preliminary survey include information on who, what, when and why. Respondents provided demographic information, and provided information on what they do when they visit Bud Miller Park, when they visit most within the year, and why they visit.

Responses are summarized below:

Demographics:

- 89% of respondents reside in the City of Lloydminster. 47% of respondents were from neighbourhoods of College Park (20%), Parkview Estates (14%) and Steel Heights (13%), however generally respondents were evenly distributed throughout the City.
- 68% of respondents were female.
- 40% of respondents were between the ages of 27 and 47; with 40% of households having children and youth, with 12 years and under (30%), and ages 13 to 19 (10%). Young adults ages 20 to 26 represented 5% of respondents.
- 11% of respondents were between the ages of 48 to 61. 6% contained the voices of people over 62 years of age.
- 17% of responses contained the voices of people over 65 years of age and an additional 17% were adults under 35. Children and youth comprised 24%.

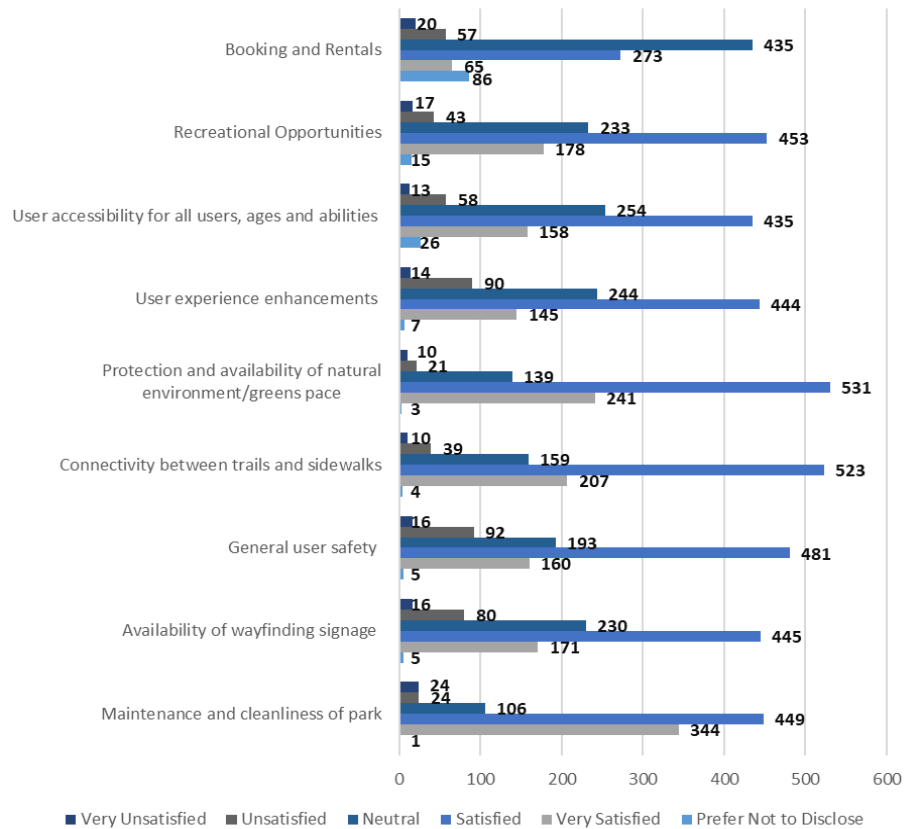
Seasonal use:

- Out of the seasons commonly visited by respondents, Summer (July-September) was the most visited time of year, representing 34% of responses. Spring and Fall were visited equally at 24% and 26% respectively, and Winter the least visited time of year at 15%.
- For respondents visiting BMASP, more than 60% visit at least once a week, no matter the season. 75% of respondents visit more than once a week during Summer months.

Access:

- 46% of respondents note they access BMASP by driving.
- 53% of respondents access the park by walking/running (32%) and Biking, Boarding or Scootering (21%).

Please rate the following categories based on your satisfaction:



Which of the following activities/amenities do you, or member(s) of your household access when visiting BMASP? Please select all that apply.

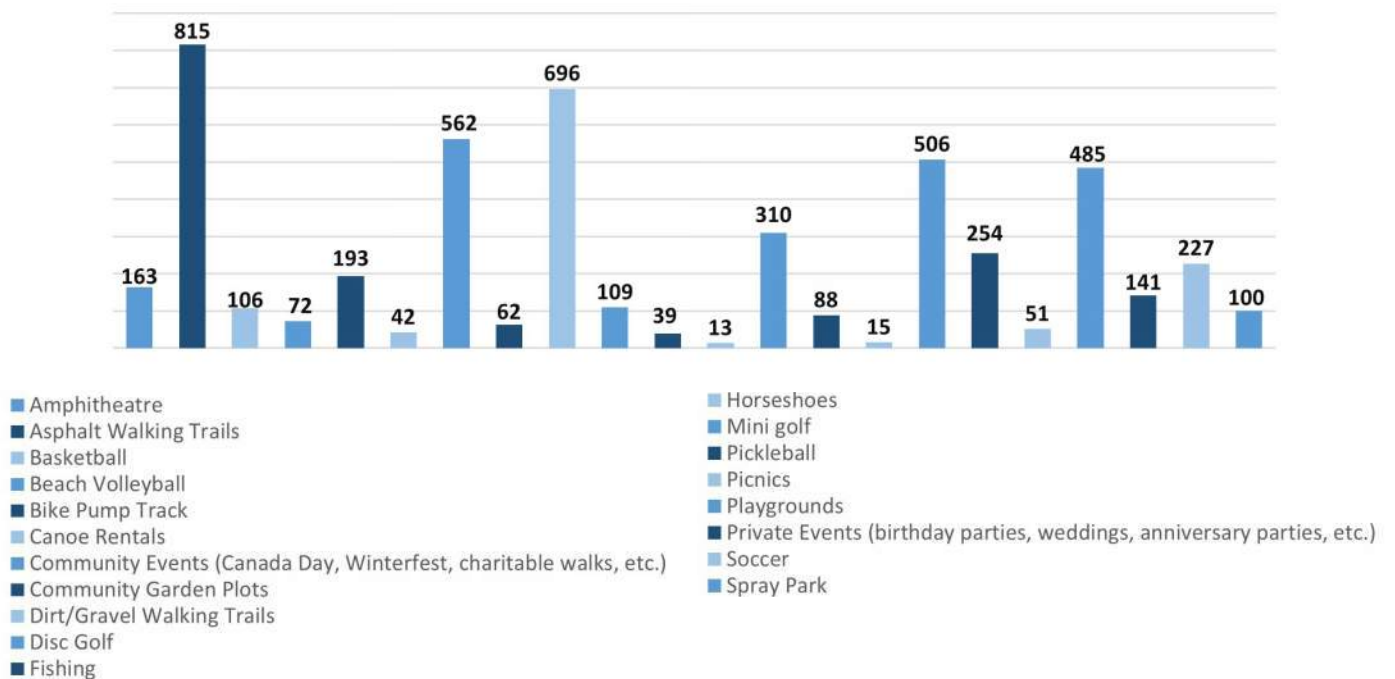


Figure 7: Needs and Demands Study - Example Responses

Activities/Recreation

- 56% of respondents who visit Bud Miller All-Seasons Park come for leisure and passive recreation, with 30% of respondents noted they go to BMASP for leisure activities, including swimming, splash park, picnics, canoeing, disc golf, biking, running, mini golf and fishing. 26% of respondents noted they go to BMASP for sight-seeing including walking, bird watching and enjoying nature.
- 10% of respondents who visit BMASP come for active recreation, including sporting activities such as pickleball, soccer, basketball, tennis, and softball.
- 31% of respondents who visit BMASP come for community events such as Canada Day, Winter Fest, and Charitable walks (21%), along with private events such as birthdays, weddings, and anniversaries (9%).
- Most popular activities / amenities within the Park include the asphalt and granular walking trails at 30%, Community events at 14%, and play activities through playgrounds and spray park at 19%.
- The least popular activities / amenities within the Park include horseshoes and picnics at less than 1%.
- Out of sporting activities, the pump track is considered most used at 30%, followed by tennis at 21%.

Value / Satisfaction

- General satisfaction of Bud Miller All-Seasons Park is high, with 77% of respondents being either very satisfied (20%) or satisfied (57%) with the Park.
- Those who are very unsatisfied and unsatisfied represent 3% of respondents.



Consultation with Stakeholders



Assets/Concerns Exercise

3.2 Initial Consultation with Stakeholder Groups

Initial stakeholder engagement, as part of the first phase of the project, helped to provide background and context for future broader public engagement. On February 14 and 15, 2023, Crosby Hanna & Associates conducted stakeholder consultation sessions with the Project Steering Committee, Council and Executive Leadership Team, Internal City departments, Parks maintenance group and key public stakeholders and adjacent Lloydminster community groups to discuss the Bud Miller All Seasons Park project. Base maps showing existing information and aerial imagery were provided as part of this meeting as a discussion tool for localizing areas of strength and concern, building on existing assets, and identifying opportunities where gaps may exist.

The perspectives of Stakeholders helped to shape the scope and general direction of the plan. The ideas generated at this stage were developed further and tested through the rest of the Master Planning process.

3.3 Stakeholders

An extensive group representing the City of Lloydminster internal stakeholders, park maintenance group, and invited list of key public user groups and business, were engaged during this Phase Two portion of the project. See Stakeholder list below.

The project consulting team continued to maintain contact with Stakeholders throughout the project and invited additional Stakeholders to provide input as they were identified through subsequent project phases.

Stakeholders include the following groups:

City of Lloydminster

- Steering Committee
- Council Members
- Executive Leadership Team (ELT)
- Administration

Internal Departments

- Parks
- Community Services
- Communications
- Economic Development
- Planning
- Operations
- Maintenance
- Engineering services
- Recreation and Culture

Select Public Stakeholders

- Lakeland College
- Lloydminster Rowing Club
- Lloydminster Runners
- Lloydminster Catholic School Division
- Terry Fox Run
- AMJ Lloydminster

3.4 Project Themes

Following initial stakeholder consultation, a list of programming objectives for the Master Plan helped to unfold key ideas and themes that informed the Master Plan concept. The following key themes were common to all engagement meetings:

BMASP has an abundance of natural forest that allows the community to connect to nature within the City limits.

- Retaining and protecting forested areas is a high priority.
- There is not a desire to add more amenities outside of the existing occupied footprint, so as not to encroach or compete with these natural areas.
- Ensuring BMASP is not enclosed by residential development will allow protection of corridors and provide a green belt for the City.
- There is a desire to increase biodiversity as a way for the Park to address climate change.
- A connection to nature can be explored further through added interpretive signage.
- A sense of wilderness and discovery is found in areas of the park, and this is an important part of the park's character. There are opportunities to maintain a sense of natural play elements, and 'hidden' places of discovery.

Paved and natural trails are appreciated and well used; however maintenance, additional access, and wayfinding is important to consider.

- Wheelchair accessible paving should be incorporated at the west side of the Park to ensure full access.
- Maintenance and lifecycle replacement of trails, paths and paving should be incorporated as part of the Plan.
- Considerations for trail user conflicts and trail widths should be reviewed for the Park.
- Trail users often have issues finding their way through the trail network. Wayfinding signage options to be explored.

The Park Centre is currently underutilized. The Master Plan should explore ways of programming the Centre as a more integral part of the Park.

- Food and beverage opportunities.
- Rental equipment.
- Liquor licensing and venue rental.

Access to the southwest areas is limited.

- The Canada Day Celebration was successful in 2022 in the new festival location (southwest area of the park) and the City hopes to use this area for future City festivals. This festival area is limited by access into the Park and lack of servicing.
- The south-west part of the Park is hard to access for limited mobility users; it is far from the current Park entrance.
- The amphitheatre is under-utilized, this could be due to its current accessibility within the Park.
- Master Plan should provide a new entrance into the Park and parking area from 75th Avenue.

Expand the Park West to 75th Ave.

- The City owns the property between BMASP and 75th Avenue.
- Park expansion can provide another entry point and additional parking for close access to park amenities.
- Possibility to add park features and amenities within this space that do not encroach on preserved natural areas.
- This expansion can help protect BMASP from being enclosed by other developments.
- Possibility of fostering additional naturalized planting in these areas as a way of extending forested areas and habitat corridors.

While there are currently some winter activities in the Park such as cross-country skiing and pond-skating, there is an opportunity to expand winter programming and recreation.

- Most paved trails are not illuminated and this limits winter use in the Park. Previous bollard lighting was removed due to vandalism; other pedestrian lighting options are desired.
- Park winter programs are often indoors; there is potential to include programs for outdoor exploration or sport.
- BMASP is a great location for a Christmas lighting festival, which is a great family-oriented opportunity during the winter season.
- The City is currently testing a skating trail just North of BMASP, and if feasible, would be a great addition to the Park.
- Potential to bring back winter rental equipment (cross country skis, snowshoes).
- Smaller hills on site are used as tobogganing hills, however there are safety issues in these areas. Masterplan should consider incorporating a toboggan hill as part of Expansion area.

BMASP is free to use for visitors, with most of the amenities free for public use. This is significant towards providing socio-economic equality for the Lloydminster community.

- Rental equipment could be provided as a free service to the benefit of the community. Rentals should consider allowing rentals to children without guardians or paid rentals.
- Masterplan should consider limiting new amenities/activities that require purchase or paid rentals to maintain the park as a free resource.

Liquor licensing has not been implemented in Lloydminster. Consideration for permitting options to be explored.

- This could be linked to a designated area such as the Park Centre.
- Event organizers currently use Lakeland College as a 'beer garden' since BMASP does not allow alcohol.

Play areas within the park are well used, however there is a desire to make these more inclusive for different ages and abilities and provide more seating surrounding the playground.

- Consider revisions to the existing playground, as well as lifecycle replacement recommendations towards an inclusive playground for the Park.

Existing features and infrastructure noted on site are approaching the end of their lifecycle. Considerations for replacement or alternative features to be included as part of the Master plan.

- Discussions include the sundial as a feature to refurbish, re-envision, or replace with another interactive feature.

Users note concern about some designated recreation areas related to functionality, placement, and capacity of use. There are also recreation opportunities not currently available in BMASP to consider.

- Softball fields are currently in a low area and experience drainage issues. There are currently other softball fields being implemented elsewhere in Lloydminster for softball leagues. Other uses in this area should be considered.
- Soccer fields were noted as an unused area; however, this could be due to limited access to the southwest end of the site.
- Concerns with the location and layout with disc golf were discussed.

Access to Washrooms

- Stakeholders noted having to walk great distances to use washroom facilities; additional permanent washrooms are to be considered.
- Washrooms outside of Park Centre are not year-round; and are closed during winter months. There is desire to make washrooms usable for all four seasons.
- Accessible stalls were also noted as a potential gap in service, and should be further reviewed as part of the plan.



BMASP Master Plan - Open House



3.5 Public Master Plan Engagement

3.5.1 Open House and Online Questionnaire

On May 17th, 2023, Crosby Hanna & Associates and the City of Lloydminster conducted an Open House, at the PSM Park Centre. This event displayed the preliminary Master Plan, provided a space for dialogue and interaction with residents, and allowed attendees to voice questions or concerns about the redevelopment plan.

Attendees to the Open house were also encouraged to participate in the online questionnaire as a way of providing additional feedback and comments.

The Open House boards were also displayed on the project website for the residents unable to attend in-person event. The boards and questionnaire were made available for a period of two weeks for review and response.

Questions within the questionnaire requested feedback about new developments, location options and changes to new and existing amenities, revitalization strategy preferences, and general feedback surrounding the success of the master plan revitalization concept. Respondents were also provided the opportunity to propose questions and other general comments as a way of expanding their responses. A total of 635 responses were received as part of this process.

Open House Survey responses can be found in Appendix B.



SECTION 4

4.0 MASTER PLAN

The Bud Miller All-Seasons Park Master Plan responds to a robust investigation and consultation process.

The Plan proposes recommendations that consider all base information, existing conditions, and opportunities and constraints identified through a detailed review and analysis of existing infrastructure, features, and amenities. It considers the Park's context within the City of Lloydminster, existing resources, and natural systems, and addresses all needs, goals, values, themes and driving factors identified and developed through stakeholder engagement and public consultation processes.

The Master Plan identifies existing features to preserve, including those at or near the end of their lifecycle, and recommends upgrades or replacements. It proposes new programming opportunities and recommends revision to existing programmed areas. The Plan recommends replacement of features that no longer match public or administrative values and considers safety issues and how to improve access and inclusivity throughout the Park.

Recommendations range from general guiding principles that provide long-term planning guidance, to specific and actionable tasks that are easy to implement in the short term. The Plan also provides guidance on implementation and phasing, including a detailed financial analysis for capital planning purposes.

This Plan is intended to be a comprehensive tool that is useful to guide short and long-term future development at Bud Miller All-Seasons Park.

4.1 Park Areas

With a site the size of Bud Miller All-Seasons Park, examining the Park as whole at first glance is challenging. Responding to varying levels of density and intensity of use within different areas of the Park, the redevelopment plan divides the site into areas to allow for a more comprehensive understanding of park characteristics, needs, gaps and opportunities.

The Park has been separated into 5 distinct areas as a way of further defining the Park's character and function of use. Park areas, as indicated Figure 8 and below, are based on a combination of geographic regions, intensity, and type of use.

The Northeast Area is defined by the main entrance into the Park site, a naturalized forest with trails and picnicking, community gardens and tree nursery, and recreation amenities such as volleyball, tennis, mini golf, softball and disc golf. A major sundial feature is also located within this region.

The Northwest Area is set at the edge of the Parkview neighbourhood and Parkview Lake, with continued naturalized forests from the northeast portion of the site. Formal gardens and mazes, trails and gazebo provide an experience predominately within tree cover and clearings. Existing recreation amenities include pickle ball and basketball courts.

The Core Area is set within the centre of the site, and is defined by high-intensity use and development: the existing PSM Park Centre, BioClean Aquatic Centre, and lake help shape plaza areas, spray park and play areas, and main views overlooking the Bud Miller Park Lake.

The Southwest Area encompasses the southern portion of the Park Lake, and includes the amphitheater, pedestrian bridge and drainage channel, and soccer fields on the east side of existing low forested areas. At the southwest portion of the property line is a newly formed pump track. The west side of the forested areas is defined by wetland and natural clearings.

Potential Expansion Area involves opportunities for the undeveloped area of land immediately west of the Southwest region of the site, bordered by 75th Ave on the west side, and Parkview Estates to the North.

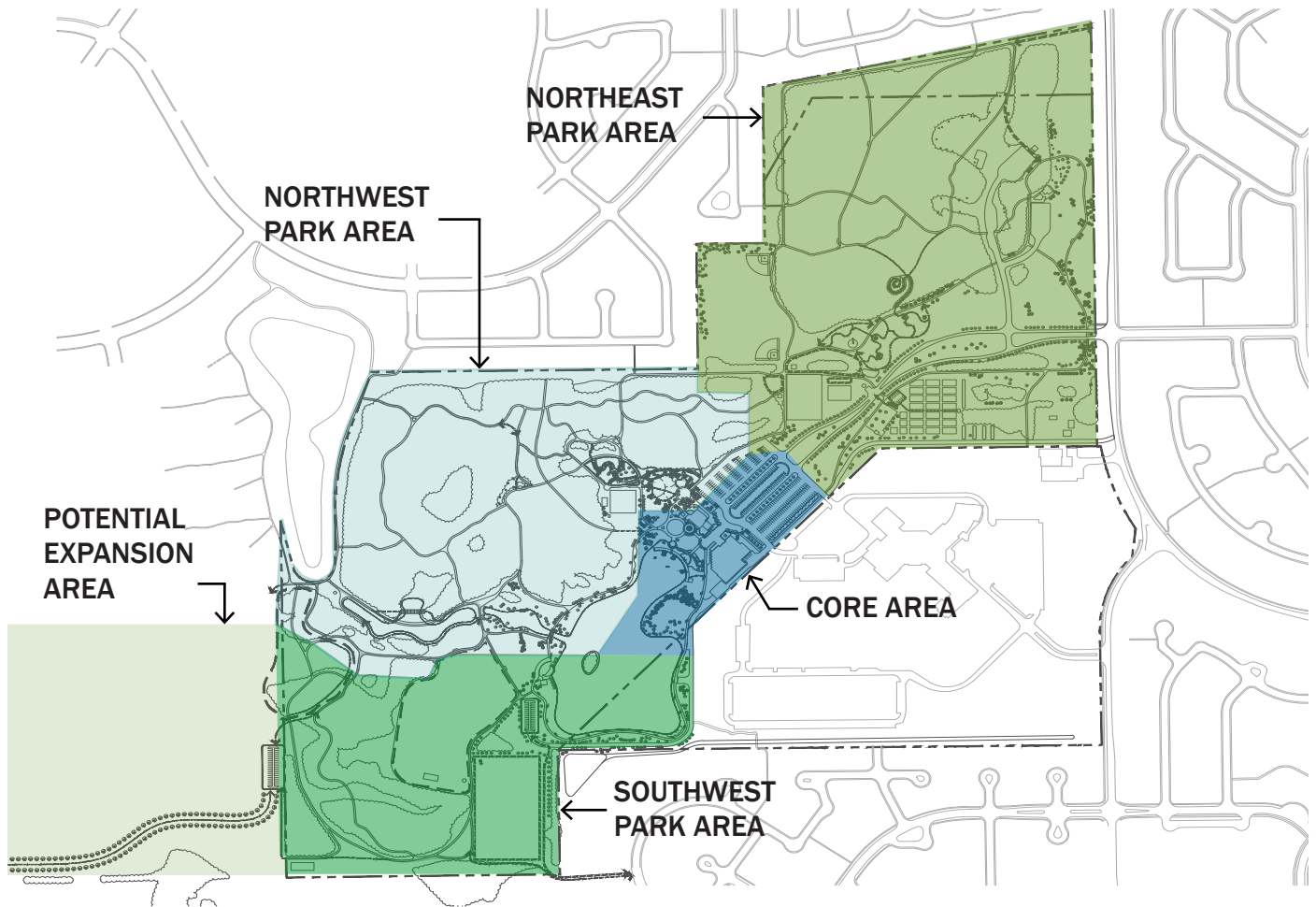


Figure 8: Park Areas

4.2 Redevelopment Concept

The Redevelopment Concept includes the overall concept plan as shown in Figure 9, outlines site specific existing improvements, new development and programming for each park area, and general recommendations for the entire Park.

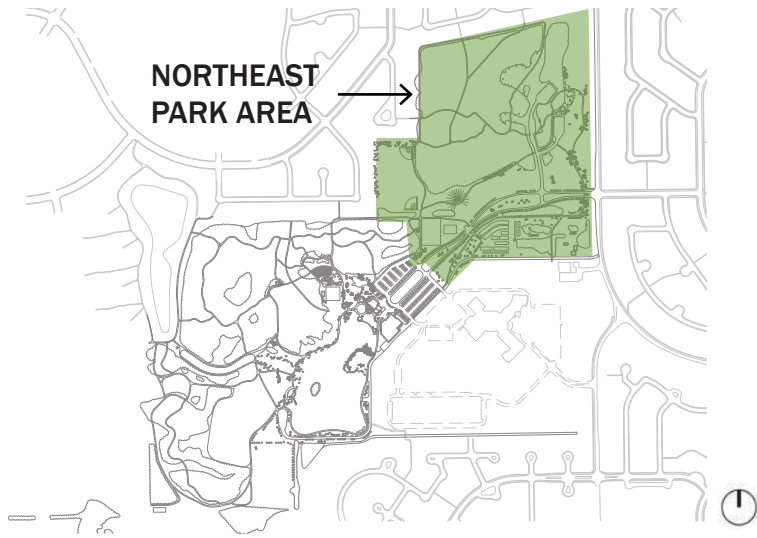
The Redevelopment Concept, or Plan follows the inventory and analysis outlined in Section 2.0 and the engagement process findings per Section 3.0, as a means of addressing gaps and concerns, building upon assets and opportunities, and working towards achieving project goals identified through analysis, stakeholder consultation, and design.

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Figure 9: Redevelopment Concept

BUD MILLER ALL SEASONS PARK MASTER PLAN



LEGEND

- A Updated community garden & potential expansion area
- B New community orchard
- C Additional pedestrian entrance from 59th Ave
- D New picnic shelter c/w washrooms
- E Accessible picnic areas
- F Relocated and revitalized horseshoes
- G Potential future mini golf area
- H New all-season washrooms
- I New fitness obstacle course and/or fitness nodes
- J Re-envisioned Sundial
- K New sculptural garden with trail node



Figure 10: Northeast Area

4.3 Northeast Area

4.3.1 Site Specific Existing Improvements

4.3.1.1 Community Garden

An existing community garden is located between the existing maintenance yard and Mini-Golf Course. Every spring, Bud Miller All-Seasons Park offers city residents the opportunity to rent a garden plot in the park to grow their own vegetables, fruit or flowers. The community garden is currently operating outside of the City of Lloydminster Park's department.

Proposed revisions include maximizing the capacity of the community garden through layout changes, and adding the opportunity to rent multiple plots, suited to the gardener's abilities. Additional wheelchair-accessible raised beds should be provided as a means of increasing the use by seniors and limited-mobility gardeners.

Figure 10 shows additional public access provided with a short-term parking area, designated for gardener use.

The Community Garden at Bud Miller expanded in 2016, doubling the number of plots from 42 to a total of 87 plots. Identified during the engagement process of this Master Plan is the desire to expand plot numbers further to address long wait times for plot openings. The opportunity to expand the community garden into Lakeland College north property was discussed in stakeholder consultation and is a viable option for garden expansion. This is also recommended as a way of expanding partnership between BMASP and Lakeland College.

4.3.1.2 Picnic Shelters

There is currently one picnic shelter at BMASP, located within the Northeast Area of the site. This picnic shelter includes covered seating and washrooms and can be rented for small events and gatherings. Through initial engagement, the picnic shelter was noted to be a major asset within the Park. This Master Plan proposes one additional shelter location north of the existing picnic shelter per Figure 10, as a way of increasing capacity.

The new picnic shelter should provide accessible and all-season washrooms. See Section 4.8.6 Toilet Facilities.

During stakeholder engagement, overflowing trash receptacles were noted near picnic shelters and in picnicking areas because of their small size and shape. Consider replacing receptacles with wildlife-proof receptacles to match those already found within the Park.



Source: BMASP Community Garden



Example Raised Garden Beds

4.3.1.3 Picnicking Sites

There are currently two large picnic areas within the Northeast Area, and clusters of picnic tables throughout the park. Most of these are simple clearings with designated picnic areas and shared fire pits.

Most picnic tables are not accessible; the Plan recommend designating a minimum of one accessible picnicking location within each defined picnic area. These spaces should have sufficient shade, a concrete pad, and provide barrier-free surfacing to the pads. See Figure 10.

4.3.1.4 Existing Recreation

Horseshoes

Horseshoe pits are found within the Northeast Area of the Park, just west of the existing tennis courts. As part of the initial Needs and Demands Survey, horseshoes were distinguished as one of the least popular amenities used in the Park, with only 13 out of 910 respondents noting the use of the pitches.

The Master Plan recommends horseshoes are retained, as they are a senior-friendly recreation option within the Park. As shown in Figure 10, the horseshoe pits are reduced in numbers and relocated slightly along one of the main paths.

Horseshoe pit construction should consider accessible surfacing surrounding the pitches, and bench seating at each end.

Mini Golf Course

The existing mini golf course, called The Putting Zone, is currently for lease and the City will be looking for new ownership. The Putting Zone is the only mini golf in Lloydminster, and through the initial Needs and Demands Survey, 310 respondents noted mini golf to be one of the more popular recreational amenities of the Park.

Engagement and site review revealed the need for revitalization of the mini golf course. The existing location, adjacent to the community garden is also understood to experience drainage issues during spring melt.



Example Natural Mini-Golf Course

As part of the Open House Survey, responses show the mini golf course should remain in Bud Miller Park. The Plan recommends reviewing relocation opportunities within the Park. Figure 10 shows the mini golf course relocated to create a recreational hub, adjacent to the existing tennis and beach volleyball courts, and close to washrooms for family access.

Mini golf features can be salvaged, restored, or relocated, or constructed new, as desired by the City and community. If building new, consider providing a course with topographical interest, barrier free surfacing throughout, and a mix of themed and naturalized elements.

Softball Diamonds

Two existing softball diamonds are found within the Northeast Area, just north of the existing horseshoe pits. Stakeholders noted these diamonds exist within a low area of the site and experience standing water during spring melt and major rain events. Grading and drainage for this area should be reviewed as part of a stormwater management strategy. See Section 4.8.2 Drainage and Stormwater Management.

While the diamonds are predominately used by softball leagues, the diamonds are also used for games of pick-up or catch. A new ball diamond complex is being developed elsewhere in Lloydminster, intended to be used for leagues including softball. Following the development of the Complex, softball diamonds in BMASP should be used for un-programmed, non-league use only.

Disc-Golf Course

A 9-hole disc-golf course exists throughout the open spaces in the Northeast Area of the Park and was installed as a temporary test facility. During the initial stakeholder engagement, it was noted that the course location and circuit are not ideal: the course crosses walking paths, and the 9th hole does not circle back to the course starting point.

Initial concepts displayed at the Open House showed disc golf removed from BMASP, with the intent to re-locate elsewhere in the City. A strong majority of respondents noted the desire to keep the Disc Golf Course in the Park, with many respondents expressing concern over the removal of disc golf prior to providing any other course in the City.

There is limited opportunity to provide a permanent disc golf course in this area of the Park; there are significant conflicts with walking paths and cycling, and other park amenities. The clearance area for a course is understood to be approximately 10m - 12m wide. Because of this, the Master Plan does not recommend this course be placed within the Park's forested areas as this conflicts with the desire to retain these forested areas as naturalized and unprogrammed space for enjoying nature.

Following review of potential layouts, the Plan recommends maintaining the existing layout, while other locations outside of the Park, or within the Park Potential Expansion Area, are reviewed as feasible locations. The disc golf course within BMASP should be maintained until a new disc golf course has been implemented elsewhere within the Park or elsewhere within the City.

4.3.1.5 Sundial

The Sundial is an original feature within the Park. Once the largest sundial in the world, it has since been superseded by other developments world-wide. It is understood the sundial still remains the largest sundial in Canada.

The existing sundial infrastructure is nearing its end of life and needs replacement or significant rejuvenation, including most features such as the unit paving, and wood posts.

In early discussions, stakeholders noted the sundial is a tourist attraction. Residents take friends and family to Bud Miller specifically to view the dial. Other stakeholders noted confusion with the functional use of the sundial, since there is no informative signage on what it is, how to interact with the structure, or the importance of the sundial as a public art installation.

The Open House Survey (Appendix B) asked the public to provide feedback on preferred rehabilitation strategy for the structure. A total of 56% of respondents noted for the sundial to be replaced and re-developed as either a sundial with a smaller footprint (29.9%) or within its



Example Sundial Revisioning Opportunities

existing footprint (26.1%). Approximately one-quarter of respondents believe the sundial should be refurbished with the same footprint, layout, and materials.

Based on this feedback, the Master Plan proposes re-envisioning the sundial and maintaining its location within the Park. It is recommended that the sundial provides spaces to sit, reflect, interpret, and interact with the dial as a learning opportunity. Informational signage showing instructions on how to use the dials should be added as part of its redevelopment. Further design of the structure should involve a team of landscape architects, land artists, structural engineers, and lighting designers (as required) to ensure the feature's success.

4.3.2 New Development and Programming

4.3.2.1 Orchard

New orchard tree planting is proposed adjacent to the community garden as a way of expanding the garden edge. Not only do fruit-bearing trees provide showy blossoms in spring, but Community orchard trees can provide fresh fruit to communities, supporting food security initiatives for low-income families, and/or for food banks partnerships. They also provide an opportunity to educate the community on how food is grown and can align with events such as the Fall Festival for harvesting activities. The Master Plan proposed approximately 20 fruit trees as part of an orchard implementation.

Prior to planting orchard trees, it is recommended to consult with the local food bank, and community garden members for potential programming opportunities within the City. A variety of tree species, such as apple, plum, apricot, chokecherry, and saskatoon should be selected to maximize diversity and yield. Varieties of native fruiting trees and shrubs can also be included to diversify the orchard and contribute to local biodiversity.



Community Orchard



Example Sculptural Garden



4.3.2.2 Additional Pedestrian Access

The Master Plan proposes adding an additional pedestrian access at the northern most connection into the Park at 59th Ave. This allows pedestrians and cyclists outside of the Parkview neighbourhood and north of the main vehicular entrance to enter the Park more freely. An existing sidewalk is not present along the west side of 59th Ave, and so it is also proposed that a crosswalk be established to connect to the sidewalk on the east side of the road. See Figure 10.

4.3.2.3 Sculptural Garden & Trail Node

A sculptural garden is proposed in the Northeast Area of the site, adjacent to the revitalized sundial. Using playful topography and a series of paths, this sculptural element provides an interesting maze-like landscape for playful leisure and opportunistic meandering. A continued path continuing in the forest leads you to stumble upon a surprising and peculiar element of land art (to be determined), setting a backdrop for imaginative wonder and play. See Section 4.8.8 Art.

Implementation of the sculptural garden and trail node should be implemented as part of, or aligned with, the sundial implementation. See Section 4.3.1.5 Sundial.

4.3.2.4 Fitness Obstacle Course and Fitness Node

The Master Plan proposes a new outdoor fitness area adjacent to the existing tennis and volleyball courts. Providing the benefit of free equipment, outdoor fitness can be used for stretching, training, opportunistic or programmed use, and provide another recreation opportunity to support community health and wellness.

The Open House Survey (Appendix B) asked the public for feedback on outdoor fitness preferences. Results showed 31.7% of respondents preferred an outdoor fitness track or obstacle course, 8.3% preferred the fitness nodes, and 38% preferred to have both options.



Example Obstacle Course



Example Fitness Nodes

An existing outdoor gym is located in Kinsmen Park, just a few blocks east of Bud Miller Park. This Plan therefore recommends the installation of a fitness obstacle course to provide a diversity of fitness equipment within the area. Inclusive options to allow use for a variety of ages and abilities should be considered.

Figure 10 illustrates fitness nodes along trails as an additional fitness item, adding a circuit-based fitness element throughout the Northeast Area of the Park to promote opportunistic and path-based use.

4.3.2.5 New Washroom

A proposed all-season washroom is located adjacent to the recreational hub to support high intensity use within this area.

Refer to 4.8.6 Toilet Facilities for general recommendations.

BUD MILLER ALL SEASONS PARK MASTER PLAN

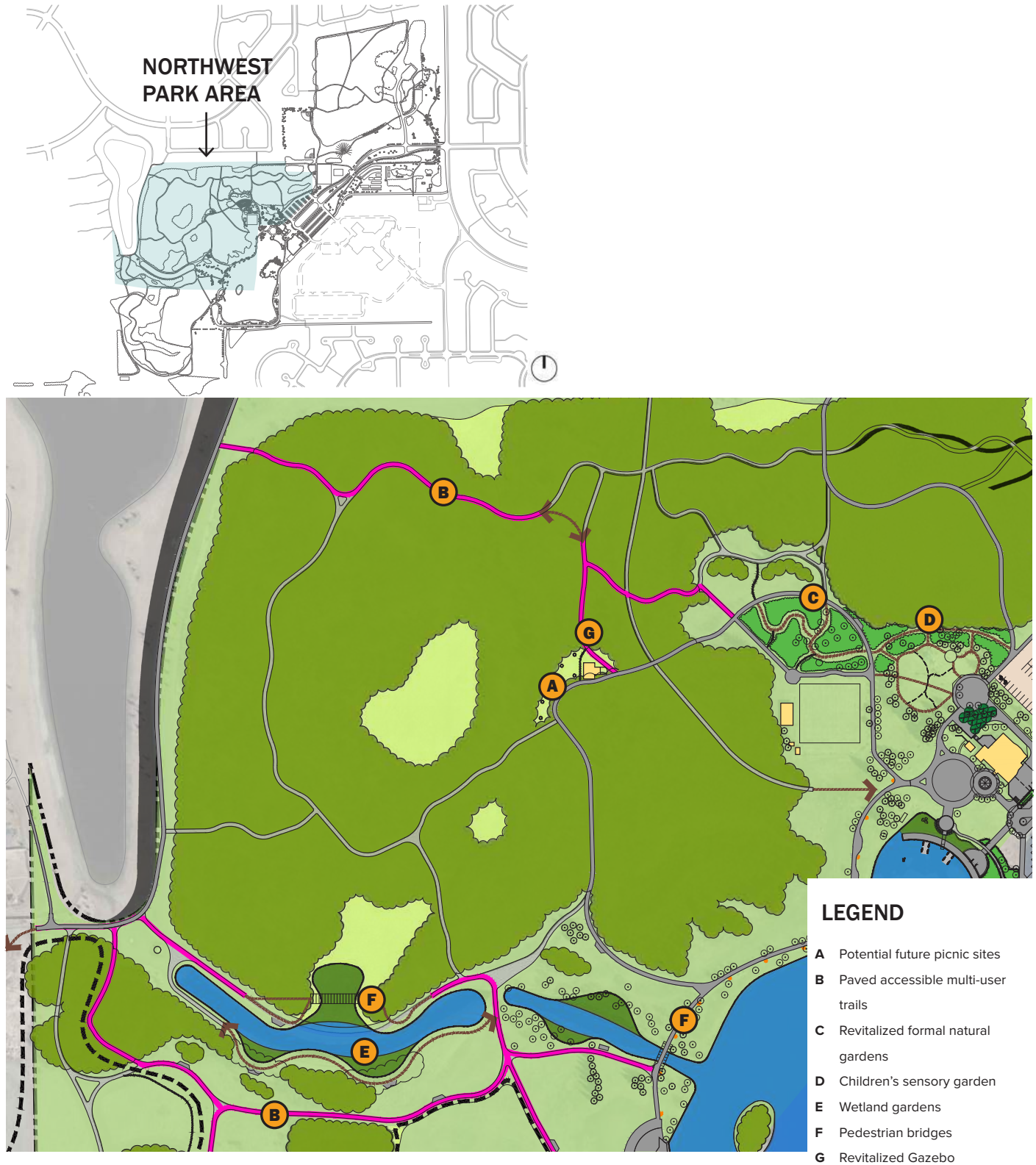


Figure 11: Northwest Area

4.4 Northwest Area

4.4.1 Site Specific Existing Improvements

4.4.1.1 Gazebo

The existing gazebo is located in the Northwest Area of the site, near the existing formal gardens and surrounded by dense forest. This gazebo is used primarily for social gatherings and has a capacity for 5 covered picnic tables. It is also well used by bird watchers. The structure and area appears to be well loved; however, it was observed that wildlife such as squirrels and birds have taken residence within the building structure, which is a sign of deterioration.

Modest upgrades are recommended to allow for continued use for bird watching and the enjoyment of nature:

- Add wildlife-proof recycling receptacle(s).
- Remove unit paving and replace it with concrete or granular accessible surfacing.
- Provide an additional pathway to connect with the north trail allowing visitors to bypass the Gazebo.
- Potential to add interpretive signage for bird and plant identification. See Section 4.8.5 Signage.

During stakeholder consultation, the gazebo was not noted as a significant priority. Since the gazebo is a large building within the Park and set far from other amenities, the plan recommends minimal upgrades, and recommends it to be replaced with a less robust structure when it reaches end of life. This could be a semi-covered structure such as a pergola.

Potential Future Picnic Sites

The Master Plan shows picnic sites schematically placed within the existing clearing, near the Gazebo. Picnic sites could be provided to respond to increasing picnic site demands, and provide a relaxed location for picnicking. See 4.3.1.3 Picnicking Sites for barrier-free considerations. Because of the proximity to the forested area, the Plan does not recommend fire pits in these areas.

4.4.1.2 Pedestrian Bridge

The existing pedestrian bridge is located near the amphitheatre and needs full replacement. Its replacement should be fully accessible and consider maintenance access and loading requirements.

The replacement bridge should be comprised on a similar wood deck material, with a modernized rail system (for safety and accessibility), complete with seating areas located to take advantage of views of the BMASP lake and the proposed wetland gardens.

A new pedestrian bridge is recommended parallel with channel that connects the two existing lakes. This bridge provides opportunities to strengthen pathway connections and allows up-close viewing of the wetland garden.



Example Formal Garden Planting



Example Primary Multi-User Pathway

Custom bridges built in place, or prefabricated bridges, are both suitable options; for consistency, bridge design and materials for both replacement and new bridges should match. Structural engineering services are required for abutment and bridge design to ensure all loading requirements are met.

For implementation, the bridge can use either a custom-build design or choose to go with a prefabricated system. Structural engineering services are needed for abutments and loading requirements.

4.4.1.3 Formal Gardens

The existing formal gardens are located north of the existing pickle ball courts and are set within a forest clearing. The original master plan, had originally set the gardens on an axis towards the Gazebo, however over time and evolution of the Park, the formal gardens now feel disconnected from the rest of the Park.

The existing maze, a low shrubby wall of vegetation, needs major rejuvenation or removal. The planting bed edges, and planting beds also require major attention.

The Master Plan proposes revising the formal garden as a series of naturalized gardens, including potential pollinator gardens, woodland gardens, and Indigenous planting. This will provide a seasonally stimulating experience for visitors to the Park. Inspired by drought-tolerant plant species, formal gardens will also increase biodiversity and connect to the character of the Lloydminster eco-region. The proposed garden should be designed for low-maintenance practices (post establishment) to ensure there is sustainable maintenance in the Park. A variety of benches, lounge chairs, and picnic seating, interpretive signage, plant species markers, and donor opportunities should accompany the formal gardens and transform them into a calm, restorative, and restful setting.

Refer to 4.8.3 Irrigation for watering considerations.

4.4.1.4 Paved Accessible Trails

Existing granular trails proposed to be re-surfaced with asphalt and proposed additional paved trails are shown in Figure 11. These trails encourage barrier-free use and ease of access into the



Children's Sensory Garden Elements

Example Wetland Garden

Park from the Parkview Estates. As shown in Figure 4, The Lloydminster Continuing Care Centre exists approximately 500m from the north-west entrance into the Park, and the new Wellings Senior Complex is anticipated to be developed just north of the Care Centre. Holy Rosary High School, and Ecole St. Thomas School currently exist, and a third School is anticipated to be placed just north of the Parkview Lake.

Hard surfacing trails in this area will ensure all visitors have access to all areas of the Park, and can walk between the Core area and amenities within the Northwest and Southwest areas of the Park.

4.4.2 New Development and Programming

4.4.2.1 Children's Sensory Garden

A new children's sensory garden is proposed to connect the revitalized natural formal gardens to the playground and Core area of the Park. Children-sized natural structures, playful sculptures, fun and fascinating flowers, colourful elements, and barrier-free surfacing will allow for inclusive sensory play and encourage natural learning.

A schematic concept of the children's sensory garden layout is illustrated in Figure 11, however further engagement is needed to develop the concept through to detailed design. Consider consultation with children in the form of an art workshop to support a creative and child-oriented design.

4.4.2.2 Wetland Garden

An existing overland drainage channel links the BMA SP Lake and Parkview lake together as part of the City's stormwater management. Modifications to the current pond edges and water channels, development of formal pathways, seating areas, and water edge access points, provide ideal opportunities to develop a series of wetland gardens. These gardens will help increase biodiversity, improve stormwater management functions, and can be a key interpretive feature to highlight the importance of wetlands as a response to climate-sensitive design.

Design development of these wetland gardens should consider existing drainage patterns, elevations and water depths that support a variety of native planting for emergent, deep emergent, and aquatic settings, appropriate bridge crossings, pathway setbacks and intimate user experiences.

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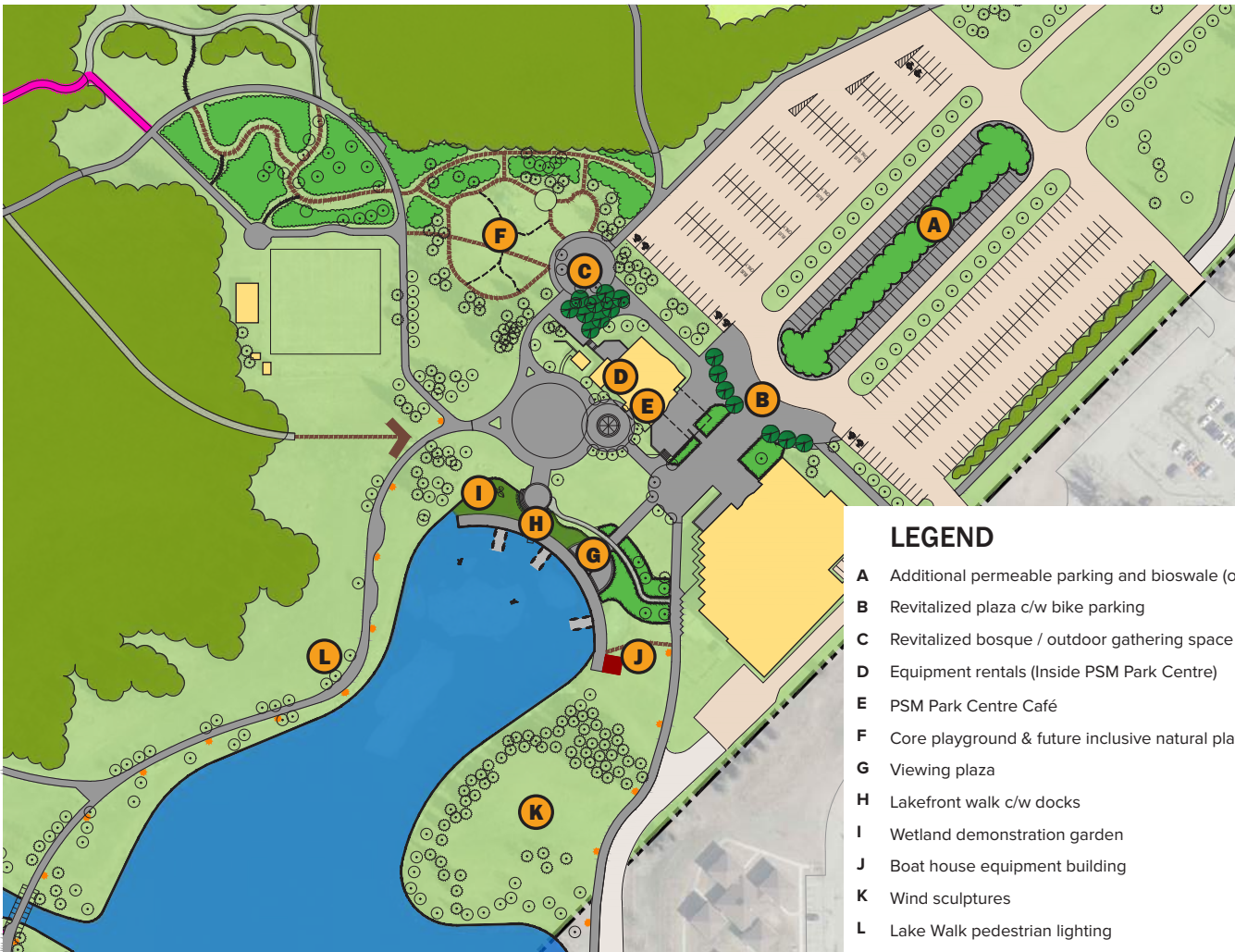
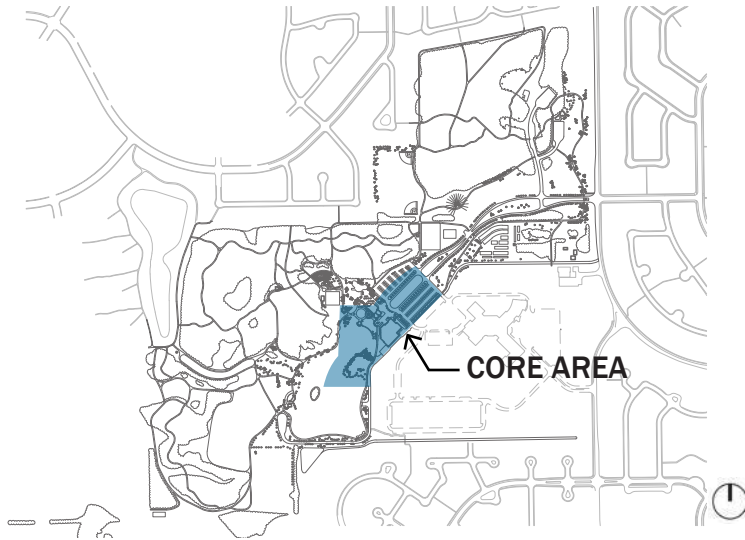


Figure 12: Core Area

4.5 Core Area

4.5.1 Site Specific Existing Improvements

4.5.1.1 Additional Parking

Additional parking is available at the main entrance parking lot along the main entrance drive. These parking spots are shown as an optional item on the Plan and can be added if needed for additional capacity in the future. When implemented, these additional parking stalls will encroach into the existing swale. Permeable paving design, bio swales, or other green infrastructure can be used to offset the impact of the swale. See 4.8.2 Drainage and Stormwater Management.

4.5.1.2 The Plaza

The existing plaza unit paving is showing its age, and is currently suffering from pitted areas, missing paving stones, and differential settling. This has been noted as a safety issue and is a priority for replacement.

The Plan proposes revitalizing the existing entrance plaza with new surfacing on areas surrounding the PSM Park Centre and BioClean Aquatic Centre, while maintaining the original inspiration and intent of the Plaza. Redefined Plaza extents can provide a cohesive design aesthetic to the spray park and lakefront plaza areas.

Additional seating areas, bike parking (see 4.8.4.4), new tree planting and bollards will help to re-establish the plaza as a safe and welcoming entrance into the Park. Paving patterns and functional considerations such as barrier-free use, vehicle access, drainage and loading requirements must be rationalized as part of detailed design within these areas to ensure the park remains accessible for all users. Permeable unit paving should be considered as part of a stormwater management strategy as noted in Section 4.8.2.

4.5.1.3 The PSM Park Centre

The existing PSM Park Centre was originally built in 1983 and has been retrofitted and revitalized throughout the years. The Park Centre is used primarily for skate changing in the winter, special events and meetings, and also includes all-season washrooms. The building is often closed from public access and has been subject to occasional vandalism. Recently, accessible public washrooms have been developed, with access from the exterior of the building. These washrooms are an excellent addition to the Park and aligns with the Plan goals and recommendations.

In the preliminary stakeholder consultation, the Park Centre was noted consistently as being under-utilized, and in need of renovation. From the initial engagement, revitalization of the PSM Park Centre emerged as a significant theme of the Plan. Respondents want to explore ways of programming food and beverage, possible liquor licensing, and equipment rentals. As part of the stakeholder and public engagement process, the Park Centre should be retrofitted to accommodate a café and equipment rental base.

The café is recommended to be designed to support a small commercial kitchen suitable for a coffee shop style food and drinks, including but not limited to coffee, tea, sandwiches, salads, baking, and desserts. This vendor would ideally be a third-party, leased by Contract from the City of Lloydminster. Adjacent areas in the interior and exterior patio should be retrofitted to have comfortable tables and seating for all-season use. Further consulting services are required with an Architect to review feasibility and design prior to moving forward with implementation.

Another important theme that emerged during engagement is the need to maintain free recreational options for the public within the Park. Free rental equipment for low-income families and for novice users is a service the City of Lloydminster acknowledges as a major priority within the Master Plan. The Park Centre originally was designed to provide equipment rentals, and this Plan proposes a similar location and layout be provided as part of future revitalization efforts. To support operations, part-time staff will be required to facilitate rentals throughout the day.

4.5.1.4 Revitalized Bosque Area

North of the PSM Park Centre, and south of the existing core playground is a large, paved area set within a bosque of trees. The area is generous in size but currently under programmed.

Redefining the edges of the patio area, creating accessible pathway connections, replanting trees in formal rows, and providing long communal tables and bench seating will transform this space into a large gathering spot, suited for unprogrammed and programmed functions. This will complement transforming the PSM Park Centre into a café space and create a central location for social gathering, eating, and drinking.

In cooler months, this area could provide heaters and/or fire tables, to extend seasonal use.



Photo credit: Assiniboine Park

Example Park Café



Example Bosque Area - outdoor gathering

4.5.1.5 Core Playground

The engagement process revealed that upgrades or additions to the core playground are necessary to extend the play value for younger age groups, provide accessible surfacing, and add seating areas. Stakeholders also expressed the desire to make this playground an inclusive play area as part of the 10+ year vision.

The existing playground equipment was installed in 2014 and currently appears to be in good/fair condition. The following upgrades are recommended:

- Provide additional free-standing junior play equipment.
- Replace surfacing for some areas of the current playground, using engineered wood fiber and/or pour-in-place rubber play surfacing to accommodate a diversity of play experiences and users with mobility challenges.
- Add barrier-free connections through and around the play area.
- Add designated accessible seating areas with shade umbrellas.

Towards the final years of implementing the 10+ year Master Plan, re-envisioning and replacement of the playground area is recommended. The Plan recommends re-designing the playground as a naturalized play area, with wood-inspired playground equipment and natural elements to compliment the forested character of the site. See Section 4.8.7 Play Areas for general recommendations.

4.5.1.6 Hidden Playground

There is also a hidden playground located north of the core playground within the forest. This playground comprises of a grouping of dated wooden equipment including monkey bars, rope climbs and seesaws, and is currently without play surfacing. The community was enthusiastic about this play space throughout the engagement process as a secret element within the Park. The hidden playground clearly provides visitors with a sense of excitement, wonder and pleasure, all based on a sense of discovery, risk, and unique encounter.



Example Nature Playgrounds





Example Lakefront and Walk



Example Walk and Docks

The structures are, however in need of replacement. It is recommended a re-imagining of these structures be provided to replace existing equipment. Rather than replacing with certified play equipment, these structures could become interactive sculptural elements, such as log tangles, beams, and semi-climbable structures. The City may consider placing additional new ‘hidden’ playful elements elsewhere within the park, as a way of re-establishing a new sense of discovery for visitors.

The playground became inspiration for other ‘stumble upon’ experiences for the Park such as the Sculptural Garden and Trail Node. See Section 4.3.2.3. Opportunities to place unexpected features within the Park are much celebrated and should continue to be emphasized as part of the Park’s character.

4.5.2 New Development and Programming

4.5.2.1 Viewing Plaza, Lakefront Walk and Docks

A new lookout and built-in seating area is proposed at the lakefront, guiding and framing views along the central axis of the entrance drive, towards the lake. The viewing plaza encourages park users to approach the water to experience prime views of the Bud Miller lake, and becomes a major destination within the Park. There is also the opportunity to provide interpretive signage, and a community fire pit for winter use.

The lakefront walk continues beyond the viewing plaza, surrounding the edge of the lake and providing dock access. This walk should include built-in benches along the path to allow multiple seating spaces for large groups. Docks will support boat rentals and further activate the Lake, and provide another form of recreation for visitors.

For winter use, the lakefront walk design should include a skating ramp to provide access onto the lake during winter months. Seasonal rubber mats should continue to be installed between the PSM Centre to the waterfront, and extend to the lakefront walk bench seating areas to make the built-in benches a four-season feature.



Boating on the Lake



Example Kinetic Sculpture



Example Pedestrian Lighting

4.5.2.2 Wetland Demonstration Garden

Adjacent to the new viewing plaza and lakefront walk, the Master Plan proposes maintaining a naturalized edge and creating a shallow wetland garden, to support transitional aquatic plants and habitat for terrestrial and aquatic life. Large boulders set at the centre of the shallow area will provide places for ducks and other wildlife to perch, providing opportunities for safe and memorable wildlife viewing.

A pond fountain and/or air pump should be provided within this area to maintain water movement and aeration. Civil consultants can be retained to provide pump and aeration design.

4.5.2.3 Boat House

The plan proposes that a separate boat house adjacent to the lakefront walk be provided for the primary use of storing boat equipment and safety gear, such as helmets and lifejackets. This will free up programmable space within the PSM Park Centre. There is also an opportunity to use the Boat House specifically for coordinating boat equipment rentals, which would require additional summer staff.

A third-party boat rental company is already operational within the Park. Continued and expanded partnerships will be important to consider for implementing boat rentals and rental infrastructure, for establishing vandalism protection, and as a means of providing a successful rental experience for visitors.

4.5.2.4 Wind Sculpture/ Art Feature

This Master Plan proposes a grouping of kinetic (mobile) sculptures, set on the top of the hill south of the lake. Placed at different heights, one or two sculptures may rise above the treetops, with several others becoming visible on the other side of the lake walk.

These sculptures should be reviewed against any bird conflict concerns in the area prior to implementing. These sculptures can be incorporated as part of the City of Lloydminster Art Program. See Section 4.8.8 Art.

4.5.2.5 Lake Walk Lighting

A lack of adequate pedestrian lighting was noted as a concern for walking and cycling routes within the Park, due to perceived safety, visibility, particularly for winter use.

Pole-mounted pedestrian scaled light fixtures should be installed around the BMAASP lake pathways, at major entrances and exits into the Park. Fixtures should comply with dark sky guidelines to reduce light pollution, reduce over-brightness and increase energy-efficiency for the Park. Colour temperature should match current guidelines for exterior lighting and be sympathetic to wildlife.

In winter, lighting can relate to winter light programming opportunities to light paths and gardens. See Section 4.8.9 Lighting.

4.5.2.6 Additional Winter Programming

Set within forested areas, a new scenic skating trail is proposed as an added winter experience. These trails provide an opportunity for extended skating tracks, with benefits of wind protection for skaters on cold and windy days.

Further review is required to provide an appropriate path layout. Future design must consider maintenance capacity, and limit potential conflicts with other winter user groups. (cross country skiing, snowshoeing, walking).

Crokicurl, a newly invented winter sport that combines curling and crokinole, has been adopted by many Canadian winter cities. It is compact and can be played by all ages and abilities. The Plan proposes Crokicurl be added within the lakefront plaza area or bosque for unprogrammed use.

Expanding the seasonal use of the Park as an outdoor gathering place can be accomplished through the addition of community fire-pits, and seasonal heating for outdoor patio areas such as the Bosque and existing patio.

Winter festivals are another source of winter programming, and work towards extending Park use throughout colder months. Festivals such as Winterruption (Saskatoon), Festival du Voyageur (Winnipeg), All is Bright Light Festival (Edmonton), and competitions such as the Warming Hut Competition (Winnipeg), and Chiseled Ice Sculpture competition (Edmonton) are all examples of small and large winter festivals that bring music, storytelling, outside activities, and food and drink to the community. Winter festivals should be located near existing winter activities and surrounding the PSM Centre as a base for accessibility purposes.

See Section 4.8.9 for proposed Winter Lighting Displays in the Park.



Skating trails



Croki curl



Winter Outdoor Gathering Areas



Christmas and Winter Lighting Displays



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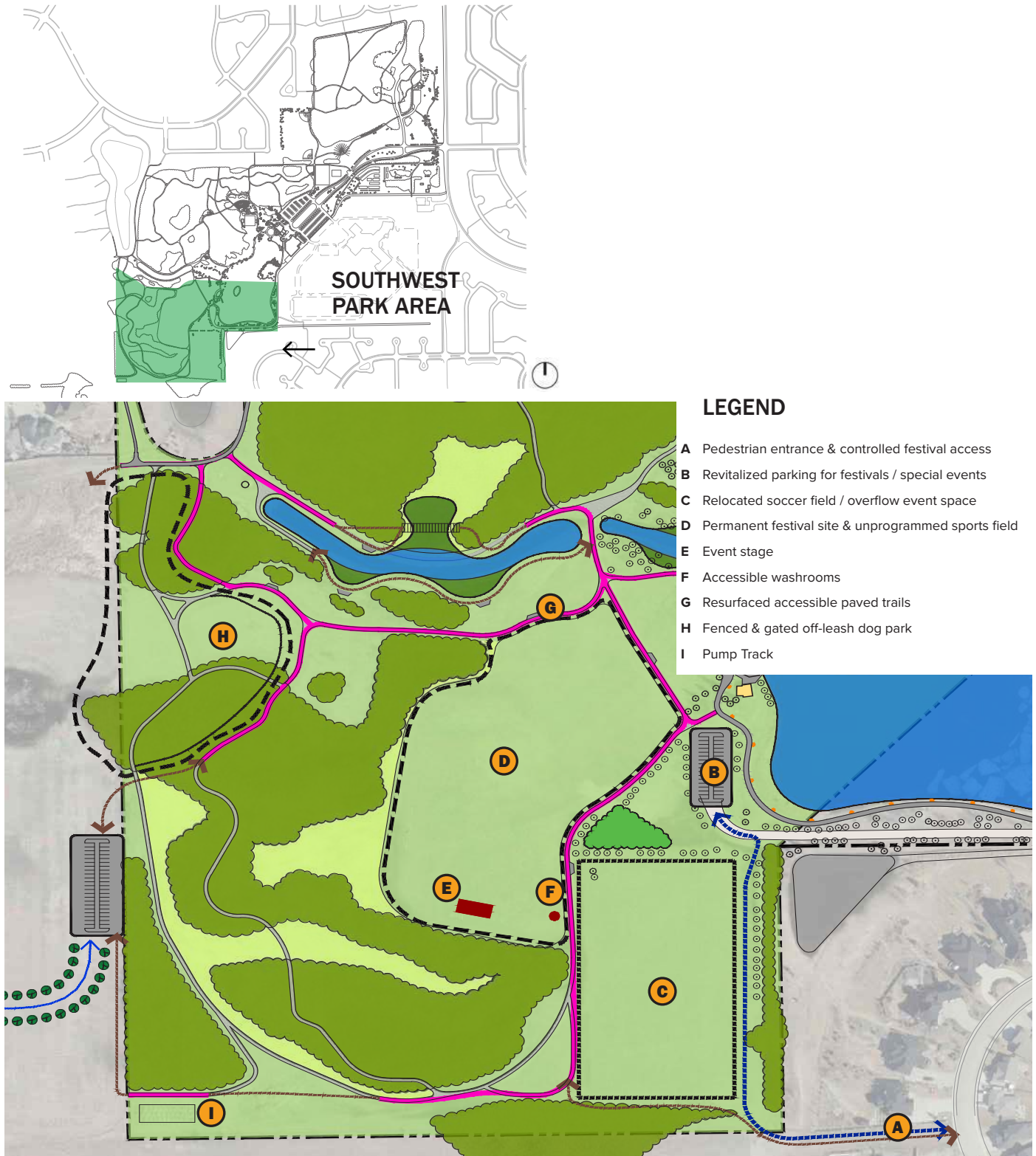


Figure 13: Southwest Area

4.6 Southwest Area

4.6.1 Site Specific Existing Improvements

4.6.1.1 Revitalized Parking and Controlled Entrance

The Southwest area of the park has an existing large granular surface, connected to the maintenance road network. Currently used for drop-off, the granular area is underutilized as a functional area. Also noted are issues with dust from vehicles traveling adjacent to pedestrians on the lake trail.

The Plan proposes this area becomes a permanent parking area, to support the new permanent festival site and event space. The parking area should be gated-accessed from the proposed lakeside entrance. Parking should be used for festival set-up and take-down personnel and equipment, vendors, media personnel, and provide accessible parking for major festivals and other special events such as weddings and major gatherings. See Figure 13 and Section 4.6.2 Southwest Area New Developments.

Operations of the parking area can be managed by either City staff or event volunteers, depending on the event and maintenance requirements.

4.6.1.2 Soccer Field

An existing soccer field is found in the Southwest area, but the engagement process revealed that this is unknown to most stakeholders and the community. The underutilization of the soccer field may be due to its location and limited access.

The Master Plan proposes that the soccer field move south, allowing the current location to be developed into festival and special event infrastructure. With the addition of the southwest parking lot, the soccer field will become a more accessible and flexible sporting area for all park users.

As part of the soccer field relocation, irrigation should be provided to ensure suitable field conditions and adequate turf health.

4.6.1.3 Pump Track

The existing pump track is a recent addition to the Park, built as a dirt track, with a series of rollers and banks for cyclists, skateboarders, BMX, and other riders.

Pump tracks typically cater to a variety of difficulty levels which make them accessible to a diversity of user groups. Pump tracks are also relatively simple and inexpensive to construct.

The pump track at Bud Miller All-Seasons Park has shown itself to be very popular, with 193 of 910 participants noting they use the pump track in the initial Needs and Demands survey.

Desire for pump track expansion was indicated during public engagement, however feedback has been limited. The Plan proposes maintaining the pump track as primarily dirt surfacing, with minor adjustments to the track to accommodate a variety of bike types, as needed.

The pump track should be expanded to provide proper infrastructure, servicing, and site furnishings, as needed to support demand. Expansion should consider catering to a variety of difficulty levels and users, address potential conflicts, and adjust grading within the track and surrounding site as needed for positive drainage.

4.6.2 New Development and Programming

4.6.2.1 New Pedestrian Entrance & Controlled Festival Access

The Plan proposes to add a pedestrian entrance from the Lakeside community towards the southwest area of the Park to provide additional access routes for pedestrians and cyclists. This entrance is located off 63 Ave, just north of 20A Street Close, and is a designated open space for Park connection.

4.6.2.2 Permanent Festival Site & Flexible Sport Use

The creation of a permanent festival site location will provide a diverse range of benefits for the City, event organizers, community members and visiting friends and family. The success of Canada Day in 2022 and 2023 in the southeast portion of the site, provided confidence in this area as a permanent large festival space.

A lack of available and accessible parking for festival and event use was noted as a primary concern throughout engagement. Two new parking lots are proposed: one located off 63 Avenue for controlled access by vendors, event organizers, accessible users, performers and set up/take down crew; and one for visitors in the Potential Expansion area. See Figure 13 and Section 4.6.1.1 Revitalized Parking and Controlled Entrance.

Permanent bike parking locations should be considered as part of the festival site infrastructure, with the opportunity to use bike valets as a way of promoting cycling as a major mode of transportation.



Large Festivals



Other Events

Providing good access to the site for pedestrians and cyclists will lessen parking requirements and alleviate congestion for festivals and events.

A Festival and Special Event functional plan should be undertaken to define desired festival scales, to locate festival extents, amenities, power connections, potable water, performance areas and bike valets, lighting, features and any surface requirements for sustainable and functional maintenance.

4.6.2.3 New Event Stage

A proposed permanent stage / bandshell is positioned at the south portion of the festival site. The stage will support larger performances, festivals, and movie screenings for local and regional use.

The size of the stage has yet to be determined and will require further conceptual and detailed design to respond to functional and aesthetic needs. Design may be implemented as part of a Festival and Special Event functional plan as noted in 4.6.2.2.

4.6.2.4 New Accessible Washrooms

The Plan proposes an accessible washroom east of the proposed Event Stage, adjacent to the primary pathway and controlled festival parking as an additional permanent public washroom for Bud Miller Park.

Refer to 4.8.6 Toilet Facilities for general washroom recommendations.

4.6.2.5 New Fenced Off-Leash Dog Park

Off-leash dog walking throughout the Park was noted as a concern for people, pets, and wildlife. Dog feces was also noted as a major concern for initial stakeholders, indicating not all dog owners are diligent cleaning up after their pet, within the Park.



Flexible recreation use



Fenced and gated off-leash dog park

Preliminary concepts explored multiple options for fenced, off-leash locations, including one option in the Northeast zone of the park within the softball diamond area, and one option the Southwest zone of the Park. The Open House survey (Appendix B) revealed 29.4% of respondents preferred the southwest location, compared to 15.4% who preferred the northeast location. A third of respondents noted the desire to not have the off-leash dog park within the Park. There are currently two off-leash dog parks within the east side of the City, however nothing exists on the west side.

An off-leash dog park is proposed in the southwest area, north of the new southwest parking lot. See Figure 13. This area provides 4.5 acres of open space and adjacent forested areas for designated off-leash trail walking for a variety of experiences and shade conditions. The off leash area should be fenced from the rest of the Park, and have gate entrances at key locations.

It is understood that this area is at a higher elevation than the other areas of the Park, however a topographical survey and further review is needed to review potential drainage needs. Development of this dog park will require fine grading to ensure an even turf area, free from major divots, perimeter fencing and gates to connect to existing trails, parking entrance, and trails (bare earth) for walking. Signage should also be provided for mapping, park extents, and to inform etiquette for dog owners. Maintenance of open grass areas will be important to mitigate ticks and other pests.

Comments received as part of the Open House Survey indicated the desire for wooden structures, additional pond areas, water fountains and more space for dogs to run within a fenced area. These ideas are to be further explored as part of the implementation process, to ensure the dog park is a successful addition to the Park. There also is potential to extend the dog park into the Potential Expansion Area. See 4.7.1.2 Potential Future Development and Considerations.

A fenced off-leash dog park would not eliminate the requirement to walk dogs on leashes throughout the Park, however, it is provided to lessen concerns surrounding user conflicts with off-leash dogs and people. On-leash requirements should be strictly enforced throughout other areas of the Park.

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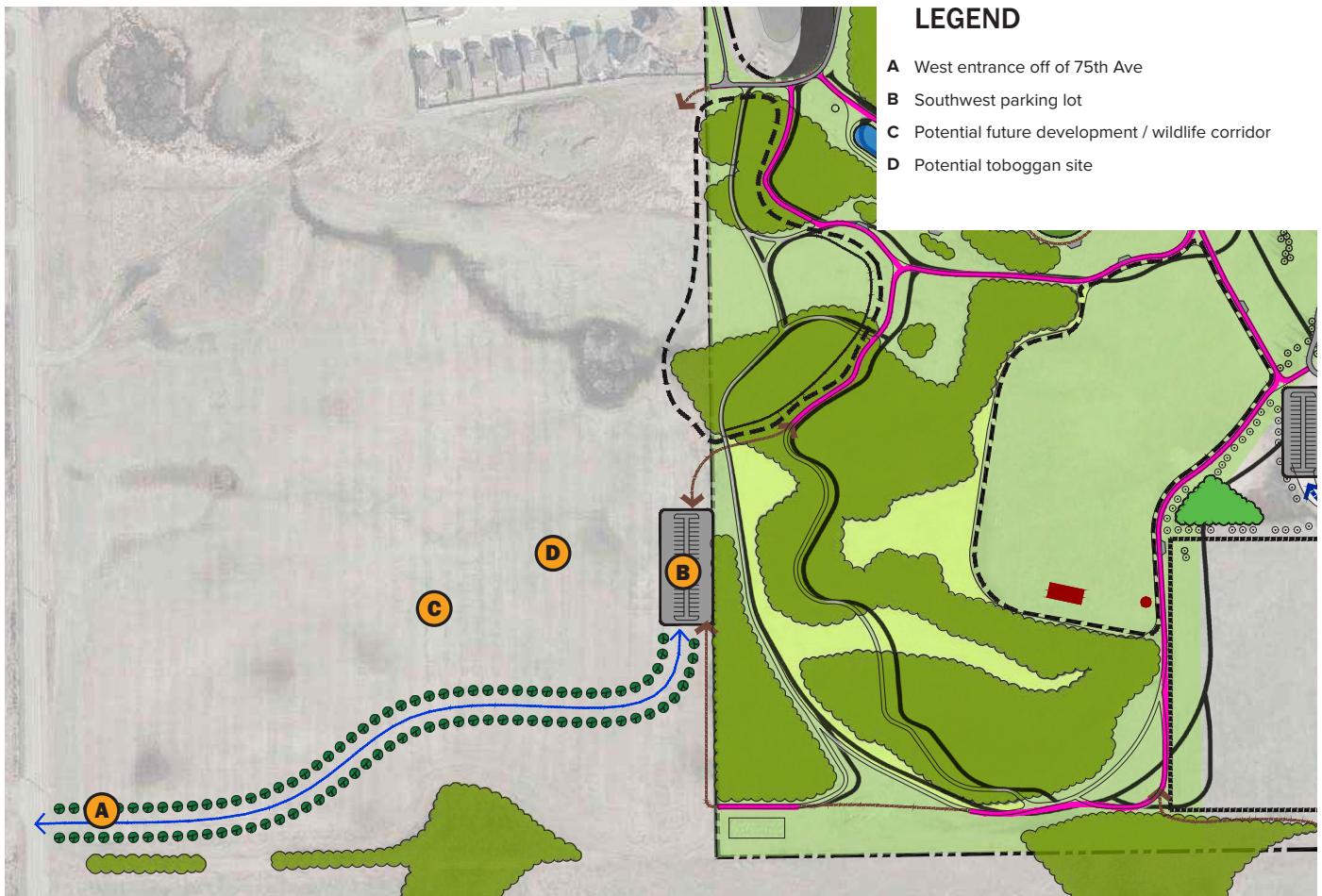
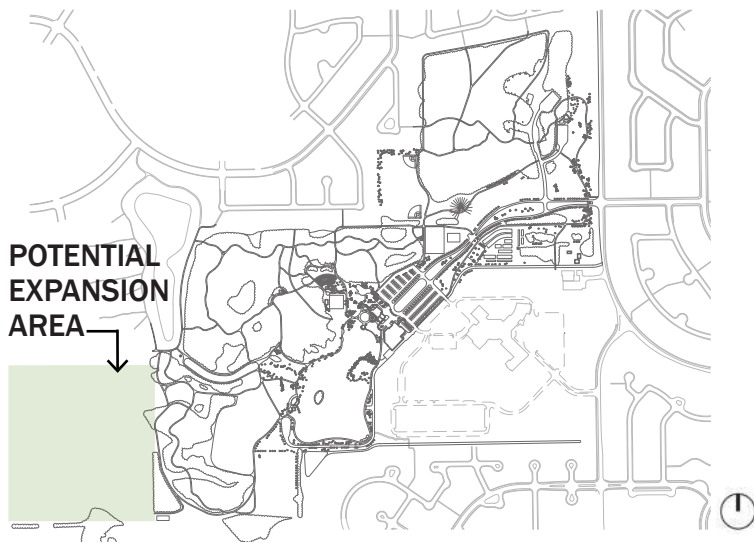


Figure 14: Potential Expansion Area

4.7 Potential Expansion Area

4.7.1 New Development and Programming

This area is a Land Division Asset outlined in the current Parkview ASP as a future residential expansion. Currently land is being leased for agricultural use. Noted development below will require the Parkview ASP to be adjusted.

4.7.1.1 New West Entrance and Parking Lot

The Master Plan proposes upgrading an existing agricultural access route into a formalized west entrance into the Park from 75th Avenue. Providing an additional vehicle entrance on the west side of the Park is an essential component to ensure accessible use of the Southwest and Northwest areas of the Park, and alleviate vehicle congestion from the east park entrance.

Rather than designing a parking lot to provide maximum vehicle capacity, the parking lot design should consider above-average typical use of the Park from the west entrance. This will help to promote alternative transportation modes such as walking and cycling into the Park, and free up budget investments for green space and recreational amenity development.

Parking lot design should also consider sustainable and stormwater management practices as noted in Section 4.8.2 Drainage and Stormwater Management.

4.7.1.2 Potential Future Development and Considerations

Areas west of the Park should be zoned as a Municipal Buffer or Open Space to ensure additional urban development does not enclose the Park on all sides. Future development west of 75th Avenue would allow the Park to expand west and continue as a green corridor as Lloydminster develops in the coming years.

A variety of wildlife, including large mammals, are frequently observed within the Park. Considerations for implementing wildlife corridors should be a major priority for the Park to the west, which should involve the following next steps:

- A wildlife assessment can be completed through desktop and site review to determine species inhabiting the site.
- A wildlife movement study should be completed for the Park. This study involves installing trail cameras in the park for one year, and can provide information on wildlife movement patterns, define potential corridor implications, and inform design considerations (fencing/signage/road passing 75th Ave, etc).

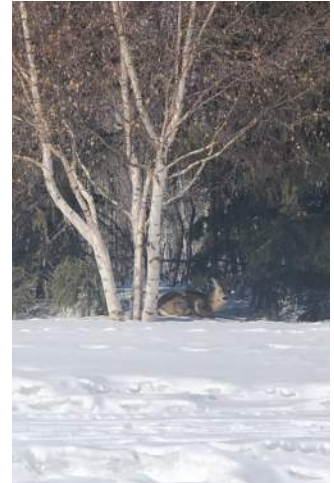
These studies will guide any future design to respond to wildlife corridor requirements, and provide other wildlife considerations for the Park.



Toboggan Site



Wildlife in the Park



4.7.1.3 Potential Toboggan Site

Existing hills in the Park are currently being used for tobogganing by the public, but safety concerns exist because of fences and other conflicts. A large, designated toboggan hill/tube hill was noted as a desired addition to the Park as a means of expanding winter-use, however, due to the limited open space within the Park, a large toboggan hill is not feasible. The potential expansion area would be a suitable location for this and could be incorporated with wildlife corridor spaces if a large open space is provided.



Figure 15: Site Boundaries

4.8 General Recommendations

4.8.1 Site Boundaries

Legal boundaries of any public space should be easily understood and recognizable. The current property line between Lakeland College and BMASP presents a challenge: a major property line passes through Bud Miller Park Lake, and part of this significant feature of the park exists on Lakeland college land. Parking and maintenance access, pedestrian walkways, servicing, and lighting for BMASP all cross this property line into Lakeland College and are currently being maintained and operated by City staff.

The site is delineated between Lakeland College and Bud Miller Park by an existing fence, that follows the lake trail to the south. It is recommended to work closely with Lakeland College to have the College Parcel legally sub-divided, so that the City can acquire this land and add it officially to the Park. See Figure 15. This will help provide clear demarcation between Park and College properties, and clarify roles and responsibilities for ownership, operations, and maintenance.

It is understood that Lakeland College will be undertaking a Master Plan for the College site. The City of Lloydminster should make every attempt to participate in this process as a key stakeholder, to ensure BMASP development goals and the interests of the City are represented along shared borders between the college and Bud Miller All-Seasons Park.

4.8.2 Drainage and Stormwater Management

There are many existing low areas within the Park, negatively impacting trail systems in the Northwest area and manicured park areas such as the existing softball diamonds. Existing wetlands and sloughs should be maintained and protected, and potentially expanded, as part of the Park's functional stormwater strategy.

A detailed grading plan and on-site stormwater management strategy should be prepared as a priority item. Geotechnical and hydrological investigations, and a topographical survey are required to provide accurate background information and information needed for grading design. The Stormwater Master Plan (2015), the Park Master Plan, detailed design of Master Plan components, and on-site stormwater management strategies will provide further frameworks for new development on site.

Within the Master Plan are interactive areas where green infrastructure stormwater management strategies should be integrated. This includes but is not limited to:

- Redefining the stormwater channel edges and lakefront edge to provide a series of wetland gardens. See Section 4.4.2.2.
- Providing a bioswale for additional entrance parking, as needed. See Section 4.5.1.1.
- The use of drought tolerant flowering species in the children's sensory garden to reduce irrigation requirements following establishment. See Section 4.4.2.1.
- Revitalizing the entrance plaza and other hard surfacing areas with permeable unit paving. See Section 4.5.1.2.
- Bio-retention through planting additional trees and shrubs.
- Potential to add water catchment areas as part of new washroom facilities and structures. See Section 4.8.6.
- Sustainable irrigation design. See Section 4.8.3.



Example Permeable parking and bioswale

General stormwater and drainage site strategies may involve:

- Re-grading areas within the site so surface water flows to planting beds, bioswales, wetlands and sloughs, lakes, gardens or permeable surfaces, or stormwater capture for irrigation re-use.
- The use of permeable paving materials for new parking lots and hard surfaces.
- Planting predominantly native and locally adapted trees and shrubs which are well suited to the local climate.
- Harvesting water off roofs of new park structures (washrooms, covered stage, covered bike racks) for irrigation and grey-water re-use.
- Creating absorbent landscapes.
- Including green roofs on the new park structures (washrooms, covered stage).
- Providing structural soil or soil cells under paved surfaces to ensure trees have sufficient growing medium and provide potential stormwater capture.

4.8.3 Irrigation

Modifications and improvements to the irrigation system are a priority. An existing irrigation system is located around the PSM Park Centre, including north of the Bud Miller Lake, turf areas within the existing parking lot entrances, and the frontage of the BioClean Aquatic Centre.

The system is in very poor condition and is past its need of replacement. This plan recommends all irrigation systems be replaced with new systems.

A new efficient irrigation system should use the latest standards and technologies such as rain/ soil moisture sensors to provide efficient use of water and peak performance. New irrigation systems should be added for priority areas only. Priority areas include but are not limited to:

- Core area planting and turf areas surrounding PSM Park Centre.
- Water access for community garden use and orchard trees.
- Soccer field.
- New west Park Entrance establishment bubblers for tree planting.
- Establishment watering for proposed naturalized gardens and children's sensory gardens.

Consider moving towards a high efficiency drip irrigation system for planting beds and gardens. These systems apply water directly to the root system, minimizing evaporation from typical above-ground sprinkler systems, and result in significant water use reductions.

A detailed irrigation design is needed to ensure sufficient water connections, adequate pressure, efficient sprinkler spacing, and quick coupler strategies for establishment purposes in non-priority areas.

As noted in Section 4.8.2 Drainage and Stormwater Management, there is opportunity to capture stormwater for irrigation use. This should be reviewed as part of future irrigation planning.

4.8.4 Circulation and Access

BMASP currently has over 15 kilometres of paved and granular trails throughout the Park, providing exemplary connectivity through the site, and to adjacent residential areas.

4.8.4.1 Trail Hierarchy

Primary Paths/Trails:

Primary paths and trails are used to create a continuous link through the extent of a defined area, with the main purpose of directing users through an area to destinations and major amenities and major links. They are typically more formalized, constructed of accessible surfacing such as asphalt, concrete, and compacted granular surfacing, and are wider to accommodate multi-user groups and higher volumes of activity.

Path and trail surface grades should be reviewed to ensure positive drainage and provide gentle grade changes for ease of use.

Secondary Paths/Trails:

Secondary trails connect primary trails within less intensive-use areas. They encourage movement between primary trails, often providing users with alternate routes to move away from primary trail locations, or detour/loop back on themselves. Secondary paths and trails may have a less formalized surface, including but not limited to crusher dust, compacted soil, woodchips, turf, or other groomed surfaces.

Secondary trails and paths are focused on more recreational use rather than transportation.

4.8.4.2 Trail Network Recommendations:

The initial Needs and Demands Survey revealed that 53% of respondents access the park by walking/running and biking, boarding or scooter.

Through initial consultation, it was noted that there is a lack of paved trails on the west side of the Park for visitors who have limited mobility, wheelchairs, strollers, or who use rollerblades and skateboards to travel. Within the Master Plan, multiple secondary trails are upgraded to become primary paths, for accessible use and to improve pedestrian and wheeled access into the park. See Figure 9.

Recent pathway surface revitalization initiatives in the Southeast area have improved trail conditions, and these efforts should continue throughout the Park for all the trails where infrastructure is approaching end of life. On-going maintenance of asphalt and granular pathways should be continued, with lifecycle replacement as part of their operations budget.

Primary paved trails should be a minimum of 4m wide. High intensity areas through the Park should include pavement painting to control circulation.

Respite seating areas should be provided along primary paths on average every 150 – 200 metres. The frequency of seating on secondary trails can be much less (every 500+m) however should consider resting areas that are highly visible, are located at path intersections, have beautiful views of the Park, and/or are far from other resting spaces. Respite seating areas should provide a minimum of 2m clear space to support wheelchair user seating.

Primary paths and trails within the Core area should continue to be made accessible year-round, with enhanced snow clearing to ensure access through winter months.

Provide pedestrian lighting for the paved trails surrounding the Lake and important trail connections and intersections for evening and winter use.

4.8.4.3. Vehicle Circulation and Parking Recommendations

In the Needs and Demands Survey, conducted by the City, 46% of respondents used their personal vehicle to access the Park.

To minimize congestion the Plan proposes potential additional park entrances, parking lots, and maintenance access areas in the following areas:

- Community garden parking (potential/future).
- Additional core parking (as needed)
- Festival and Special Event Parking, and
- Proposed south-west parking lot.

Proposed roadways and parking areas are planned to utilize existing or planned future roadways and intersections, to minimize new road infrastructure. Additional parking lots will provide improved access throughout the Park and will work to manage vehicle congestion for large events. See 4.6.1.1 Revitalized Parking and Controlled Entrance and 4.7.1.1 New West Entrance and Parking Lot.

For granular service roads and parking lots, it is recommended to use a surface binder for minimizing dust. Where possible, new parking areas should consider permeable paving for parking stalls, or surface drainage into adjacent bioswales. Parking curbs, stall signs, fencing, and/or line painting should be used to inform proper and efficient use of parking. Parking medians should use soft landscaping and shade trees to buffer parking and lanes, provide shade, increase bioretention, and reduce the heat-island effect of extensive paved areas. Bioswales can also be provided between parking to handle run-off.

Through initial consultation, it is understood that both Bud Miller All-Seasons Park and Lakeland College provide each other with overflow parking for large events. Continued partnership with Lakeland College for managing effective gate access to use Lakeland College parking is recommended.

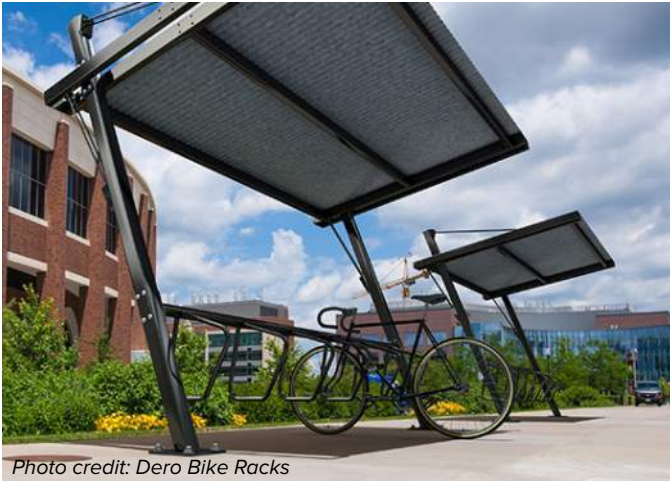


Photo credit: Dero Bike Racks

Example bike parking shelter

4.8.4.4 Bike Parking

As part of the Needs and Demands Survey, 21% of respondents noted using a bike, longboard, or scooter to access the Park, however there is minimal bike parking currently provided within the Park.

Additional bike parking should be provided at major destinations within the Park, including but not limited to:

- PSM Park Centre
- BioClean Aquatic Centre
- Amphitheatre
- Picnic Shelters
- Near major recreation hubs in the Park
 - Pickleball / Basketball courts
 - Volleyball and Tennis courts
- Near playgrounds
- Mini-golf course
- Soccer pitches
- Festival sites
- Washroom facilities

Sheltered bike parking should be considered near the PSM Park Centre and BioClean Aquatic Centre. Bike racks that only cradle the front wheel should be avoided. Bike racks should be commercial quality with tamper-proof fasteners, and be u-lock compatible.

See Section 4.6.2.2 Permanent Festival Site & Flexible Sport Use for bike parking as part of festivals and special events.

4.8.5 Signage

4.8.5.1 Wayfinding and Etiquette Signage

Bud Miller Park has a strong and successful brand which is used for all informational, etiquette and wayfinding signs throughout the Park.

Signage should provide trail users with additional comprehensive information about trail routes, surfacing, distances, and amenity information. This will provide users with useful information for wayfinding, added safety, fitness, and programmed runs/walks.



Example Trail and Wayfinding Signage

There is an over-abundance of etiquette signs, often found at major trail intersections and destinations. Some etiquette signs are larger than existing wayfinding signs and have accumulated over time as the Park has grown. This has resulted in clutter with respect to signage.

It is recommended that wayfinding and etiquette information be consolidated onto one sign where appropriate, and a re-design of wayfinding signage be provided to create a hierarchy of information. Existing branding for the Bud Miller All-Seasons Park should be maintained. Continue to use universally understood pictograms and communication standards to limit language and reading barriers, and visual impairments for visitors.

4.8.5.2 Interpretive Signage

Minimal interpretive signage exists currently in the Park. This is a significant missed opportunity noted during the engagement process. An interpretive signage strategy can be established to further visitors' connection to the Park, strengthen the park's identity, and provide learning opportunities for visitors on the Park's history and natural systems.

Key areas suited for interpretive signage include but are not limited to:

- Main plaza overlooking the lake (lake history; historic images).
- Gazebo (Bird/Animal identification).
- Forested Areas (Plant identification; ecology).
- Bioswales (Information about bioswales and how they work).
- Sundial (Information on how to read time) .
- Wetlands (including the importance of wetlands to climate resiliency).
- Water catchment areas (information on water re-use and efficiency).

Interpretive signage could be included as part of the wayfinding re-design through the City's communications department.

4.8.6 Toilet Facilities

There are currently four toilet facilities found within the Park for public use, including the PSM Centre, BioClean Aquatic Centre, Picnic Shelter and Amphitheatre. During engagement, distance and availability of washrooms was noted as a major concern within the Park. The PSM Centre has recently updated the washroom facilities to be barrier free and accessed separately from the interior building. Neither the Amphitheatre nor Picnic Shelter facilities are currently operational during winter months.

Additional toilet facilities are proposed in the following locations. See Figure 9:

- Northwest Area – Within the newly proposed picnic shelter.
- Northeast Area – Near the beach volleyball court.
- Southwest Area – An accessible washroom within the proposed festival and special event space.

The Plan recommends retrofitting existing washrooms for all-season use as part of the first phase of toilet facility updates. All new toilet facilities should become all-season and include a barrier-free stall. Change tables within the accessible stalls should also be provided. Washrooms may be custom-built or prefabricated models.

There is an opportunity to include rooftop rainwater harvesting systems or green vegetated roofs for all new washrooms as part of stormwater management & climate resiliency strategies. We recommend reviewing this further to ensure feasibility and budgeting. See Section 4.8.2.

For festivals and special events, portable washrooms may be required to accommodate peak attendance.

4.8.7 Play Areas

There are two existing playgrounds in the Park. One is located within the Northeast portion of the site, completed (2007), and one in the Core, just north of the PSM Centre (completed 2014). An accessible playground is also available for BMAASP users within Lakeland College.

General recommendations for playground upgrades and replacements include:

- Provide inclusive playgrounds, designed for a variety of age groups and challenge levels for all play areas.
- For wheelchair users, consider rubber surfacing and freestanding equipment instead of a substantial ramp system. Choose wheelchair accessible play equipment that does not exist in the Lakeland college playground, to increase play value and experience.
- Design environments to engage the senses (sight, hearing, touch, and smell), and encourage imaginative play.
- Encourage risk taking.
- Relate playgrounds to nature found within the Park by using natural materials and designs/themes inspired by the environment, custom panels, wildlife, etc.
- Provide barrier free access wherever possible.
- Use a variety of play surfaces to promote a range of play opportunities. This includes



Example Sculptural Art Installations

sand, engineered wood fiber and rubber surfacing. Include subsurface drainage where necessary.

- Consider winter play activities as part of the play area design. This can include lighting design, providing embankments for tobogganing, providing wind protection, and creating flexible spaces for unprogrammed play, areas for snow forts, etc.
- Provide a drinking water source where possible.
- Provide ample seating areas integrated within the playground area.
- Provide thermal comfort using strategic tree planting, shade structures, and screening.

Refer to Section 4.5.1.5 and 4.5.1.6 for Core Playground and Hidden Playground recommendations.

4.8.8 Art

4.8.8.1 Sculptural Art

The addition of public art helps to strengthen the Park’s identity, accentuate features within the Park, and connect the City’s art community to the park. The City currently has a Public Art Program, where public art is located at City-owned recreation centres, parks and urban spaces throughout the community.

This program can be expanded to include BMASP Park areas suitable for public art include:

- The Northeast Area within the Sculptural Garden.
- The Northeast Area revitalized Sundial.
- The Northwest Area within the naturalized garden and Children’s Sensory Garden.
- The Core Area kinetic sculptures.
- The Core Area hidden playground.

This list is not exhaustive and other areas may also be suitable to feature art. Sculptures within the Park should be carefully chosen to ensure they are suited to the Park’s sense of place, and robust enough to be vandalism resistant. Art can either be acquired through the Public Art Program or sourced elsewhere through commissioning of work. Sculptures harnessing natural processes such as wind or water, elements that set of scenes of nature, or frame a view are all possibilities. The location of all sculptures must be considered to ensure art fits within the context of the Park.

4.8.9 Lighting

Adequate lighting is critical for safety (and perceived safety) of all park users. Lighting should be designed to be uniform, and at appropriate levels and colour temperatures. Minimize abrupt transitions between bright and dark zones to avoid visibility issues. Consult with an electrical engineer for detailed design of all area lighting.

4.8.9.1 Winter lighting Display

Providing a Christmas and/or winter lighting display within the Park is a recommended family friendly winter program that encourages the community to embrace winter and enjoy the outdoors. Whether it is to provide a lighting festival or simply a display, BMASP is a fitting location for park visitors to see the Park in a new light. See 4.5.2.6 Additional Winter Programming.

Providing sufficient power for lighting displays in key areas of the Park is critical to the success of this programming. Implementation should include electrical engineer detailed design services.

Recommended lighting display locations include but are not limited to:

- Lighting displays along the east entrance into the Park, set up as a route to be viewed by vehicles or by trail users.
- Bosque and entrance plaza trees.
- Garden lighting.
- Lighting arches along skating, ski, and/or walking trails.
- Bridges.
- Uplighting of trees with vibrant colours.

4.8.10 Site Furnishings and Other Site Features

4.8.10.1 Site Furnishings

New or replacement site furnishings should match existing products or styles. Additional styles of site furniture such as single lounge seating, café style table and chairs, and built-in seating can be considered to create unique gathering and resting spaces, for a range of social uses. Respite areas should consider a mix of bench and single user seating.

Vandalism was noted as an issue for picnic tables within the Park, during stakeholder consultations. Consider materials, finishes, and fastening, mounting when selecting site furnishings.

4.8.10.2 Bollards

Existing wood bollards can be found lining the vehicle entrance of the Park, parking barriers, granular parking areas, and controlled access areas. Some existing bollards require replacement, and the Plan recommends this is done on a successional basis.

For hard surface areas requiring controlled access, bollards should either be metal or concrete, and spaced appropriately to control unwanted vehicles. Removable locking bollards may also be

considered for maintenance access.

Trail bollards and control bars should include reflective lighting to ensure they are clearly visible to bicyclists and pedestrians during night hours.

4.8.10.3 Fencing

A mix of black and silver chain link, wooden post and wire, wood barrier fencing, and metal picket fencing can be found along the perimeter of the Park, with chain link style fencing used for tennis and pickle-ball courts.

New developments and replacement fencing should consider fencing to match adjacent existing fencing on site, suited to its appropriate use, with wildlife-friendly fencing considerations, where necessary.

4.8.11 Alcohol Licensing

Alcohol licensing within municipal parks is an increasingly popular trend across Canada. As part of the Master Plan, the feasibility of alcohol licensing was reviewed within the Open House survey questionnaire.

These are multiple potential scenarios to address alcohol licensing within BMASP:

- Alcohol may be sold and consumed in the park during special events and occasions.
- Alcohol consumption may be allowed within a specified area of the park year-round.
- Alcohol consumption may be allowed within all areas of the park year-round.
- Alcohol consumption may be allowed in the park seasonally, or on specific days of the week/month, or
- Alcohol will not be allowed within the park at any time, for any reason.

These scenarios will be further considered by the Council and Executive Leadership Team.



Photo Credit: The City of Lloydminster

SECTION 5

5.0 IMPLEMENTATION

One primary key to successful Master Plan implementation is the establishment of priorities. These priorities provide focus for implementation, and form the basis of actionable items that can be phased in over the lifespan of the Master Plan.

Implementation of the Plan can begin immediately. Early implementation steps include undertaking background studies, acquisition of land, and other pre-requisites needed to complete major projects.

Successful revitalization of the Park is also dependent on understanding and mitigating drainage issues as noted in Section 4.8.2. Hydrological, geotechnical reports and a topographical survey are critical to understanding accurate surface topography and existing surface conditions, with geotechnical and hydrological reports providing accurate information on soil and water conditions within the Park.

Resolving safety and accessibility issues should also become initial priorities, to ensure the Park is suitable for all uses. Smaller, yet influential projects, including end of life replacement, can also be completed within initial phases of implementation. This will ensure the public sees Council's commitment to implementing improvements and additions, and to set in motion a positive momentum for future phases.

5.1 Implementation Strategies

1. Invest in repairs and on-going maintenance to meet safety and accessibility requirements;
2. Commission studies, reviews, and site investigating, as a pre-requisite to major improvements and new developments;
3. Commit to seeking sources of funding and revenue;
4. Work continually on enhancement projects, keeping the public and park users well-informed; provide opportunities for ongoing public input where appropriate;
5. Design and construction considerations based on the Driving Factors (See 1.4) through implementation, operations, and on-going maintenance;
6. Assess successes and monitor annual progress to determine the best course of action for full implementation. Adjust as needed on priorities as the Plan proceeds.

5.2 Phasing Summary

Recommended phasing strategies are provided below. Phasing should be reviewed annually to ensure revitalization efforts match current and ongoing priorities, and to respond to budgets and maintenance capacity.

5.2.1 Phase 1: Establishment Period (1-2 years)

1. Cultivate existing partnerships and establish new partnerships with community groups, within the Park
2. Commission prerequisite reports, feasibility studies and master planning. This may include:
 - Topographical survey, geotechnical and hydrological investigation.
 - Wildlife movement study and desktop review
 - Festival Functional Plan
 - PSM Park Centre Café feasibility study
 - Servicing capacity analysis for lighting strategies, and festivals/events/building expansions.
3. Acquire land from Lakeland College
 - Meet with Lakeland College to determine fair price, and undertake legal subdivision processes.
4. Plant orchard trees in partnership with food banks, festivals, etc.
5. Replace end of life and vandalized site furniture and features. Adopt accessible replacements:
 - Add accessible seating/respice areas including:
 - Replacing the existing picnic shelter table with an accessible structure.
 - Adding barrier-free picnicking areas.
 - Replace bollards and site furnishings as part of on-going maintenance.
 - Replace trash and recycling with wildlife-proof receptacles.
6. Permanently move soccer field to new location
7. Improve trail quality, and provide re-surfacing, path widening and respice seating for priority areas
8. Upgrade gazebo area
 - Replace surfacing to improve accessibility and provide wildlife-proof receptacles
 - Continue to monitor building condition. Provide minor repairs as needed as part of on-going maintenance
 - An engineering review/study may be necessary to determine next steps/ removal recommendations.

9. Revitalize the Community Garden

- Revise layout, standardize garden plots, and increase capacity; provide raised gardens for accessible use.
- Provide vehicle access and granular parking for garden access.

10. Upgrade the existing playground with new junior equipment, surfacing and seating

11. Implement additional winter programming

- Purchase and build crokicurl within the Bosque or back plaza area towards the lake.
- Review possible skating trail possibilities and implement smaller trail network. Skating trails should be within forested areas as part of wind relief.

12. Design wayfinding & Interpretive signage

- Develop a wayfinding and interpretive signage plan. Utilize existing park branding and identity. Detailed design should consider creating a hierarchy of sign types with associated sign information, and appropriate sign locations within the Park.

5.2.2 Phase 2: Enhancement (1-5 Years)

1. Revitalize the Sundial

- Develop a concept plan to replace the existing sundial. The sundial design should be completed by a team of artists, landscape architects and structural engineers (if needed for wind loading and foundation design).
- Multiple concepts may be provided as part of on-going engagement or selection, as desired.
- Provide interpretive signage, seating areas, and path connection to support the interactive nature of the sundial.

2. Replace existing pedestrian bridge

- Retain structural engineer for bridge and abutment design. Follow all recommendations from the Geotechnical Report.
- Retain civil engineer to assist with bridge design to ensure clearances are met to satisfy hydrological requirements.

3. Upgrade the Plaza area surrounding the PSM Park Centre

- Redesign the Plaza and other areas around the Park Centre as part of re-surfacing upgrades and bosque revitalization. Consider vehicle access and barriers, bike parking, pedestrian plaza entrance and seating, connection to the lakefront plaza area, planting and soft landscaping, and outdoor site furnishings as part of redesign.
- Design plaza areas as barrier-free, and follow the Stormwater Management Strategy.

4. Replace and provide new electrical servicing
 - Provide electrical servicing and power outlets for permanent festival site, based on Festival Functional Plan recommendations and servicing studies.
 - Provide upgraded pedestrian lighting surrounding the lake walk, and priority pedestrian areas such as entrances.
 - Provide power connections for flexible winter lighting areas.
5. Construct the new west entrance and parking lot
 - Align new entrance design with east entrance layout and aesthetic.
 - Design parking areas to respond to parking capacity analysis.
 - Vegetate with trees / shrub / perennial planting as part of green stormwater infrastructure, and to provide shade to mitigate heat island effect.
6. Replace irrigation
 - Undertake a comprehensive and detailed irrigation design. Evaluate onsite rainwater storage and non-potable sources as part of design process.
 - Maximize water efficiency and explore sustainable water use.
7. Complete primary re-surfacing and trail widening for priority areas and areas requiring maintenance / upgrades
 - Provide respite seating areas and site furnishings.
8. Fabricate wayfinding and interpretive signage
 - Priority signage may include all wayfinding signage throughout the Park, and key interpretive signs for existing and new implemented areas.

5.2.3 Phase 3: Continued Improvement and Re-development (5-8 Years)

1. Provide new picnic shelter complete with washrooms
 - Design to match the existing renovated picnic shelter; the structure may be designed with its own identity with unique colours and signage.
2. Develop the Northeast recreational hub
 - Relocate horseshoe pits and provide accessible surfacing and seating.
 - Revitalize / relocate mini golf course.
 - Provide fitness obstacle course and nodes. Implementation may be part of fitness equipment funding.
 - Implement washroom servicing and any suitable water stations for the area.

3. Add pedestrian access to Northeast Area entrance
 - Modify fencing and develop additional trails to connect the entrance to 59th Avenue location.
 - Work with appropriate municipal departments for pedestrian crossings to connect to east sidewalk.
4. Implement Sculptural Garden and trail node
 - Working with a landscape architect, design a series of topographical mounds and walkways to support a meandering garden design.
 - Select areas that may feature artwork from the Public Art Program, or art that may be permanently placed.
 - Add seating nodes and site furnishings throughout.
 - Trail node feature to be explored further through land artist and landscape architect team.
 - Construct trail node to connect to existing network.
5. Implement Formal Garden revitalization
 - Develop Formal Garden design, coordinated with maintenance capacity.
 - Include Irrigation system for establishment.
6. Develop and construct the Children’s Sensory Garden
 - Working with local schools and art workshops, develop a concept plan based on child-based engagement.
 - Implement as separate projects or in connection to the natural Formal Gardens and new nature playground design.
7. Construct Wetland Gardens
 - Based on the topographical survey, hydrological report and Stormwater Drainage Strategy, identify suitable areas along the existing channel for new wetland gardens.
 - Create a concept illustrating wetland interventions, lookout and viewing areas, walkways, interactive spaces, and seating.
 - Locate and design bridges; new bridges should match the newly replaced pedestrian bridge; consider boardwalks as an alternative crossing or edge treatment.
8. Construct Festival Parking and Establish Pedestrian Access
 - Revise edges of existing granular lot to accommodate efficient parking based on anticipated festival capacities. Follow recommendations and findings from the Festival Functional Plan.
 - Pavement is not required for festival lot. Parking barriers and vehicle curbs should be provided to identify parking stalls and provide vehicle control.
 - Add a tackifier to parking lot for dust control, as needed.
 - Add formalized walkway access from 63rd Ave.

9. Renovate the PSM Park Centre to add Café and equipment rentals

- Consult with Architect for feasibility review for café renovations and rental areas; add kitchen, storage and seating areas.
- Review accessibility. Implement improvements to the building to bring up to current accessibility standards and best practices.
- Provide seating for interior and patio areas; provide shade with umbrellas or other shade structures as needed.

10. Commission and install Wind Sculpture / Art Feature

- Review options for commissioned or purchased wind sculptures.
- Work with a structural engineer for wind loading and foundation design and consult with environmental professionals to ensure sculptures do not pose a threat to birds.

11. New Event Stage and accessible washrooms

- Following the Festival Functional Plan, review event stage and accessible washroom location, functions and sizes suited to the current and potential future uses for the Park.
- Retain Architect to design stage and other structures to match a similar aesthetic to existing buildings.

12. Provide additional primary and secondary trails

- Construct primary and secondary trails. Work with landscape architect on layout and grading plans to ensure trail follows low-impact, accessible and feasible routes, especially through forested and low areas.

13. Continue implementation of wayfinding and interpretative signage

- Continue to implement wayfinding and interpretive signage through final landscape and art projects, as well as other potential spaces.

14. Implement Christmas and winter lighting display program

- Select a sub-committee responsible for winter lighting program within BMASP.
- Retain a lighting designer/engineer to provide a detailed lighting plan, showing light types, lighting configurations and options within the Park. Review light technology and controls as a way of creating light performances and colour variations.

15. Sculpture and Art Allowance

- For feature areas, work with local and national artists to commission and/or purchase pieces for designated areas of the Park.
- Large sculptures may require a team of other consultants to ensure the project's success, including but not limited to structural and electrical engineers and landscape architects.

5.2.4 Phase 4: Fulfillment (8-10+ years)

1. Northeast Recreation Hub Washrooms

- Retain Architect to design washrooms to match a similar aesthetic to existing buildings/structures.
- A water fountain attached to the building should be provided.

2. Additional Core Parking

- If additional parking is required, use the middle aisle of the east entrance drive for new stall locations.
- Convert swale to a bioswale area. Provide mix of water-loving shrubs and perennials, and trees within the central areas for green stormwater infrastructure
- This area of parking could be used for additional accessible parking, and electric charging stations.

3. Core playground replacement

- Replace existing playground with natural inclusive playground, complete with seating areas, a diversity of play surfacing. Include accessible access, lighting and shade.

4. Viewing Plaza, Lakefront Walk and Docks complete with Wetland Demonstration Garden, Boat House

- Develop concept and detailed design plans to formalize the design of the lake plaza area for the Park. A full consultant team is anticipated.
- Implement the design as one phase to ensure continuity.
- Add interpretive signage where allocated.

5. Enhance and expand Pump Track

- Expand pump track as demands grow to incorporate additional track space, seating and lighting areas.

6. Christmas Lighting Displays – Continued Implementation

- Expand lighting displays as funding allows to achieve goals for the lighting program.

7. Sculpture and Art Allowance – Continued Implementation

- Continue to acquire sculptures and work with local artists as desired for noted sculptural settings.

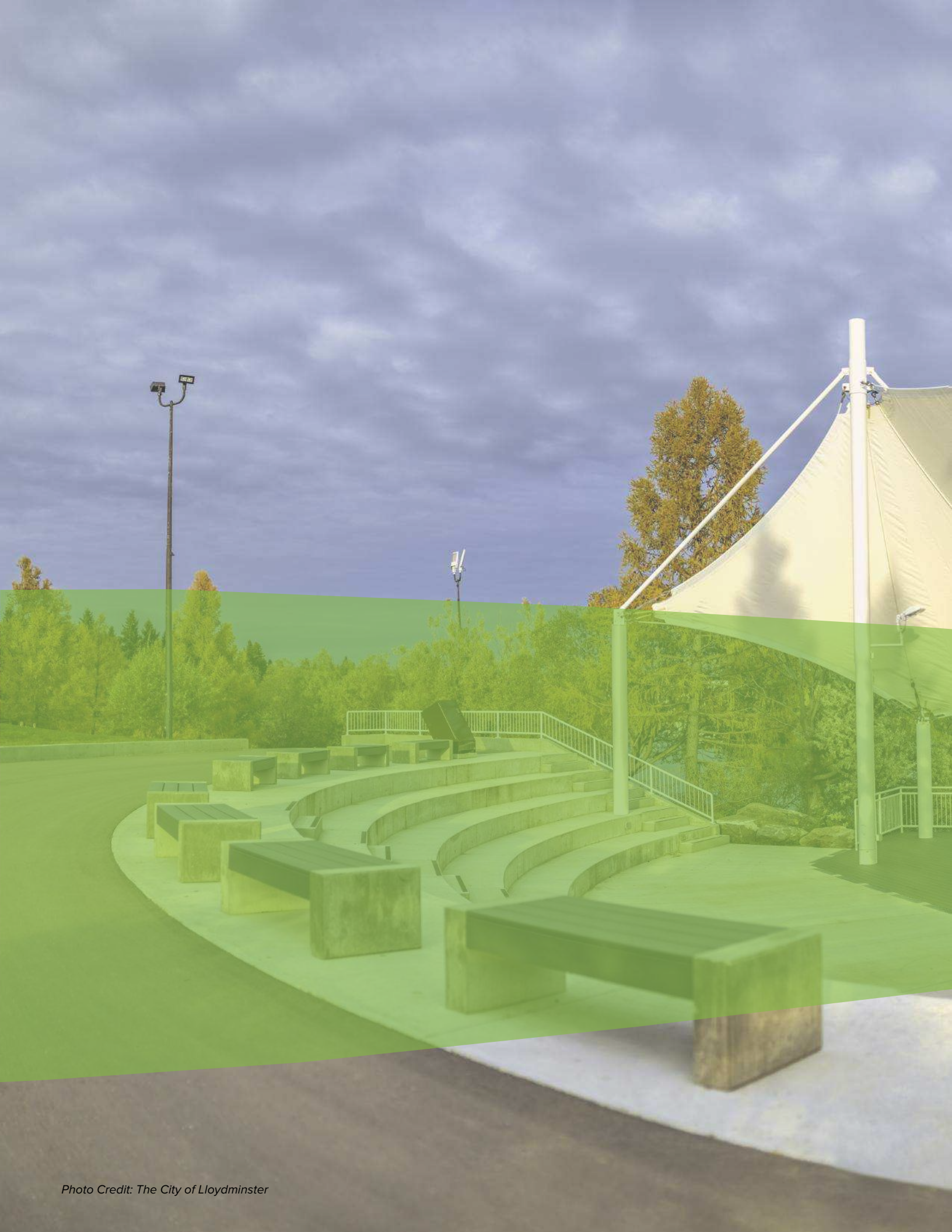


Photo Credit: The City of Lloydminster

SECTION 6

6.0 FINANCIAL SUMMARY

6.1 Capital Cost Budget Estimate

Estimated Capital Costs included in the table below are Rough Order of Magnitude, and based on 2023 dollars. This costing is based upon similar construction projects, current market values, and consultation fees with appropriate consultants, local trades and suppliers. Contingencies set at 25% are include to buffer the current volatile market pricing and high inflation rates.

The costs below are intended to provide a guide to the scope of the work and assist with the budgeting and phasing of proposed work. They are not representative of actual costs to complete the Work. Within each implementation phase, more rationalized detailed design and additional cost estimation based on the current market conditions is needed to determine more accurate opinion of probable costs.

PHASE 1: Establishment (Years 1 - 2)		Estimated Costs
Cultivate existing partnerships and establish new partnerships		\$5,000
Commission prerequisite reports, feasibility studies & master planning		\$160,000
Acquire land from Lakeland College		\$10,000
Plant orchard trees in partnership with food banks, festivals, etc.		\$10,000
Replace end of life and vandalized site furniture and features		\$50,000
Permanently move soccer field to new location.		\$1,000
Improve trail quality, provide re-surfacing, path widening and respite seating for priority areas		\$140,000
Upgrade gazebo area		\$7,500
Revitalize the Community Garden		\$30,000
Upgrade the existing playground with new junior equipment, surfacing and seating		\$40,000
Implement additional winter programming		\$50,000
Design wayfinding & Interpretive signage		\$50,000
	Phase 1 Subtotal:	\$553,500
	Contingency (25%):	\$138,375
	PHASE 1 TOTAL:	\$691,875

PHASE 2: Enhancement (Years 1 - 5)		Estimated Costs
Revitalize the Sundial		\$60,000
Replace existing pedestrian bridge		\$200,000
Upgrade the Plaza area surrounding the PSM Park Centre		\$1,400,000
Replace and provide new electrical servicing		\$600,000
Construct the new west entrance and parking lot		\$700,000
Replace irrigation		\$260,000
Complete primary re-surfacing & trail widening for priority areas and areas requiring maintenance / upgrades		\$160,000
Fabricate and partial install wayfinding & interpretive signage		\$60,000
	Phase 2 Subtotal:	\$3,440,000
	Contingency (25%):	\$860,000
	Consultant Fees:	\$430,000
	PHASE 2 TOTAL:	\$4,730,000

PHASE 3: Continued Improvements (Years 5 - 8)		Estimated Costs
Provide new picnic shelter complete with washrooms		\$200,000
Develop the Northeast recreational hub		\$300,000
Add pedestrian access to Northeast Area entrance		\$5,000
Implement Sculptural Garden and trail node		\$60,000
Implement Formal Garden revitalization		\$250,000
Develop and construct the Children's Sensory Garden		\$250,000
Construct Wetland Gardens		\$650,000
Construct Festival Parking and Establish Pedestrian Access		\$60,000
Renovate the PSM Park Centre to add Café and equipment rentals		\$250,000
Commission and install Wind Sculpture / Art Feature		\$150,000
New Event Stage and accessible washrooms		\$300,000
Provide additional primary and secondary trails		\$220,000
Continue implementation of wayfinding and interpretative signage		\$10,000
Implement Christmas and winter lighting display program		\$200,000
Sculpture and Art Allowance		\$150,000
	Phase 3 Subtotal:	\$3,055,000
	Contingency (25%)	\$763,750
	Consultant Fees	\$381,875
	PHASE 3 TOTAL:	\$4,200,625

PHASE 4: Fulfillment (Years 8 - 10+)		Estimated Costs
Northeast Recreation Hub Washrooms		\$150,000
Additional Core Parking		\$160,000
Core playground replacement		\$800,000
Viewing Plaza, Lakefront Walk and Docks complete with Wetland Demonstration Garden, Boat House		\$2,000,000
Enhance and expand Pump Track		\$30,000
Christmas Lighting Displays - Continued Implementation		\$50,000
Sculpture and Art Allowance - Continued Implementation		\$100,000
	Phase 4 Subtotal:	\$3,290,000
	Contingency (25%):	\$822,500
	Consultant Fees:	\$411,250
	PHASE 4 TOTAL:	\$4,523,750

TOTAL ESTIMATED COST OF IMPLEMENTATION		Estimated Costs
Phase 1 Total		\$691,875
Phase 2 Total		\$4,730,000
Phase 3 Total		\$4,200,625
Phase 4 Total		\$4,523,750
TOTAL PHASES		\$14,146,250

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Photo Credit: The City of Lloydminster

SECTION 7

7.0 CONCLUSION

Bud Miller All-Seasons Park is a cherished resource for the community of Lloydminster and surrounding area. The Park prioritizing social and physical connections, and effectively provides accessible neighbourhood recreation and park open spaces. This forward-thinking Master Plan prioritizes protecting existing forests, focuses on sustainable and inclusive design, and enhances recreational opportunities for all users. When implemented, the fully realized Master Plan will establish Bud Miller All-Season's Park as an advanced and progressive park, with an enhanced sense of place and identity.

The 10-year timeframe of the Master Plan is realistic, from both a capital planning and implementation perspective, and will enable the City of Lloydminster to fully realize the potential of Bud Miller All-Seasons Park for current and future generations.

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SECTION 8

8.0 APPENDICES

2023-04-18

Bud Miller All Seasons Park Master Plan

Secondary Stakeholder Engagement Summary

Phase 4 – Stakeholder Consultation

The stakeholder engagement process to develop a Bud Miller All Seasons Park Master Plan has come to a close. On April 3rd (virtual) and April 5th, 2023, Crosby Hanna & Associates conducted 3 stakeholder consultation sessions with the Project Steering Committee, Council and Executive Leadership Team, Internal stakeholders, and invited key public stakeholders and adjacent Lloydminster community to review the preliminary Bud Miller All Seasons Park master plan.

A preliminary master plan design was presented to stakeholders, followed by general feedback, and noted revisions to address priorities, concerns, and representation. Feedback provided by stakeholders in this phase of engagement will guide the Master Plan, suitable for presentation to the Public as part of the scheduled Open House in Mid-May, 2023.

Stakeholder List

Phase 2 and Phase 4

City of Lloydminster

- Steering Committee
- Council Members
- Executive Leadership Team (ELT)
- Administration

Internal Departments

- Parks
- Community Services
- Communications
- Economic Development
- Planning
- Operations
- Maintenance
- Engineering services
- Recreation and Culture

Select Public Stakeholders

- Lakeland College
- Lloydminster Rowing Club
- Lloydminster Runners
- Lloydminster Catholic School Division
- Terry Fox Run
- AMJ Lloydminster

- Community Garden

Project Discussions / Revisions

North-East Area:

- **Mini Golf:**
 - Existing mini golf to remain on plan. remove/shift proposed community garden parking lot and show future potential mini-golf re-location.
 - Concerns noted with proposed new mini golf location - maybe worse for vandalism?
 - Potential to move mini golf to Lloyd place site (Aurora), outside of BMASP.
- **Community Garden:**
 - Show existing garden shed on site.
 - Provide raised garden beds for better accessibility.
 - Community gardens are in high demand. Lakeland College stakeholder notes possibility to extend community garden into their north property.
- **Disc Golf:** Holes might be too short, is this the right location for disc golf? Perhaps a better course could be provided outside of BMASP.
- **Outdoor Fitness Area:** An outdoor gym already exists a couple blocks away and is not well used by the public. preference towards a outdoor fitness obstacle course, or fitness nodes along trails.
- **Orchard:** Shift east, remove first two rows (existing community garden space).
- **Sculptural garden:** might become a 'trail node' however there are concerns that this would become a hangout spot if there isn't through traffic.
- **Sundial:**
 - Sundial Revitalization Options to be provided as part of public survey at time of Open House.
 - Possibility to incorporate the sundial within the sculptural garden.
 - Consider other sculptures within the sculptural garden.
- **General:**
 - Add pedestrian access at North point of park from 59th Ave.
 - Add barrier free picnic tables and access.
 - Show rest stations along pathways.
 - Move proposed recreational hub washrooms east of volleyball courts for better servicing.

North-West Area:

- **Wetland Garden:**
 - Will help with water quality; water quality isn't a major concern for boat access.
 - Will help stormwater drain other low areas within the Park.
- **Childrens' Garden and Natural Garden Space:**
 - Could be a pollinator garden.
 - Potential for indigenous garden (could also be included in community garden) Mrs. Young potential Indigenous contact.
- **Gazebo area:**
 - Remove washrooms.
 - Gazebo revitalization is a low priority; could replace with a minor structure instead.
 - Could be an additional picnicking area (non-sheltered).

- **General:** Accessible pedestrian entrance into Park from Parkview will be important to the existing continuing care centre and proposed senior living.

South-West and Expansion Area:

- **Festival Space:** Provide more information on how this area is used outside of an event – needs to be multi-purpose.
- **Festival / special event parking:** Could be smaller scale.
- **Additional Expansion Area Parking:** remove washroom.
- **Off-Leash Dog Park:**
 - Dog park needs to be fenced; a recent fatal incident with a deer in the park.
 - The existing proposed location is a low area. Consider dryer locations and/or grading/drainage options for wet areas.
- **Wildlife Corridor:**
 - Put an Asterix beside 300m; CHA to review corridor requirements and/or recommended environmental studies for consideration.
- **General/Other:**
 - No opportunity to fit cricket pitches in current Park footprint.
 - Opportunity to include Corn Maze as seasonal feature.
 - Future potential Toboggan hill recommendations in Master Plan document.
 - Consideration to add Domes for camping experiences (Similar to Kananaskis Elevated Escapes and Elk Island).

Core Area:

- **Lake Access:**
 - No desire for swimming.
 - Boating on the lake appears to be desired. Community members can bring their own equipment with the option to rent.
- **Skating Trails:**
 - Trails on lake.
 - Remove layout on master plan drawing, locations t.b.d.
 - Safe trails will need lighting / seasonal lighting.
- **General/Other:**
 - Note Bioclean Aquatic Centre has separate feasibility study as part of report.
 - Considerations to keep rental equipment personnel inside PSM centre only.
 - Dock / lookout could be phased approach – confirm skating access is maintained
 - Consider an outdoor oven for gathering space.

All Areas:

- Bike parking considerations to be included in the Master Plan.
- Respite seating along the trails.
- Sculptural art should generally work with context of Park areas, and not necessarily part of the art program.

Alcohol Licensing:

- Questions about alcohol licensing in the Park to be part of public survey as part of Open House.
- Council and ELT to review and approve draft questions prior to final survey.



- LEGEND**
- 1 Community garden and potential expansion area
 - 2 New community orchard
 - 3 Additional Entrance from 59 Ave
 - 4 New picnic shelter c/w washrooms
 - 5 New accessible picnic areas
 - 6 Relocated & revitalized horseshoes
 - 7 Potential future relocated mini golf area
 - 8 New all-season washrooms
 - 9 New fitness obstacle course and/or fitness nodes
 - 10 Revitalized Sundial
 - 11 New sculptural garden with trail node
 - 12 New inclusive natural playground
 - 13 New children's garden
 - 14 Revitalized formal natural gardens
 - 15 Revitalized bosque / outdoor gathering space
 - 16 Revitalized entry plaza
 - 17 New viewing plaza c/w built in seating
 - 18 New lakefront walk c/w docks
 - 19 New wetland garden
 - 20 New boat house - rentals
 - 21 New wind sculpture
 - 22 New picnic shelters
 - 23 New wetland garden
 - 24 New pedestrian bridges
 - 25 New pedestrian and controlled festival access
 - 26 Revitalized parking for festivals/special events
 - 27 Relocated soccer field / Overflow event space
 - 28 Permanent festival site
 - 29 New event stage
 - 30 New accessible washrooms
 - 31 Resurfaced paved accessible trails
 - 32 New West entrance off of 75th Ave
 - 33 New Southwest parking Lot
 - 34 Off-leash dog park (fenced - Northwest option)
 - 35 Off-leash dog park (fenced - Southwest option)
 - 36 Potential future development
 - 37 Recommended wildlife corridor

- Existing Buildings
- Existing Road and Parking Lot
- Existing Forested Areas
- Proposed Buildings/Structures
- Proposed Roadways
- Proposed Maintenance/Control Access
- Proposed Resurfaced Trails
- Proposed Paved Trails
- Proposed Granular Trails
- Proposed Trees (Single)
- Proposed Planting

BUD MILLER ALL SEASONS PARK - MASTER PLAN

NORTH EAST PARK AREA



The North East area is defined by the main entrance into the Park, a naturalized forest with trails and picnicking areas, community gardens and tree nursery, and recreation amenities such as volleyball, tennis, mini golf, softball and disc golf. A large sundial feature is also located within this area.

This Plan shows a new pedestrian entrance at the northern most part of the site for communities north and east of the park.

The Plan looks to make the Park more inclusive through the addition of a picnic shelter, all-season accessible washrooms, accessible picnic tables and wheelchair-accessible sites, and raised community garden beds for lower-mobility users.

Creating a designated recreation area surrounding the tennis and volleyball courts will provide a hub of activity, distributing the intensive use of the core area of the Park. A fitness obstacle course will provide a space for training, programmed and unprogrammed fitness use, and warm-ups for runs and adjacent sport courts. It is proposed that disc golf is moved elsewhere off-site to provide a suitable and optimized course design.

Fitness nodes along trails are also proposed, adding an element of circuit-based fitness throughout the North-east area of the Park.

Adding a sculptural garden adjacent to a revitalized or re-envisioned sun dial, complete with meandering paths, playful topography and seating areas will provide a maze like garden suited for sculptural elements, imaginative play, fitness, respite and land art.



- LEGEND**
- A** Community garden and potential expansion area
 - B** New community orchard
 - C** Additional pedestrian entrance from 59th Ave
 - D** New picnic shelter c/w washrooms
 - E** New accessible picnic areas
 - F** Relocated and revitalized horseshoes
 - G** Potential future mini golf area
 - H** New all-season washrooms
 - I** New fitness obstacle course and/or fitness nodes
 - J** Revitalized Sundial
 - K** New sculptural garden with trail node
 - L** Fenced off-leash dog park option



A COMMUNITY GARDEN - RAISED BEDS



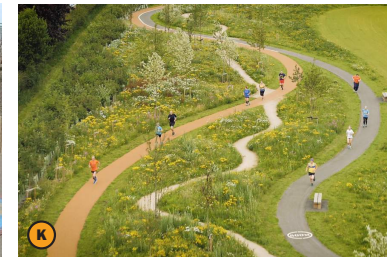
I FITNESS OBSTACLE COURSE



I FITNESS NODES



J RE-IMAGINED SUN DIAL



K SCULPTURAL GARDEN AND WINDING PATHS



K

BUD MILLER ALL SEASONS PARK - MASTER PLAN

NORTH WEST PARK AREA



The North West area is set at the edge of the Parkview neighbourhood and Lake, with continued naturalized forests from the North east portion of the site. Formal gardens and mazes, trails and gazebo provide an experience predominately within tree cover and clearings. Existing recreation amenities include pickle-ball and basketball courts.

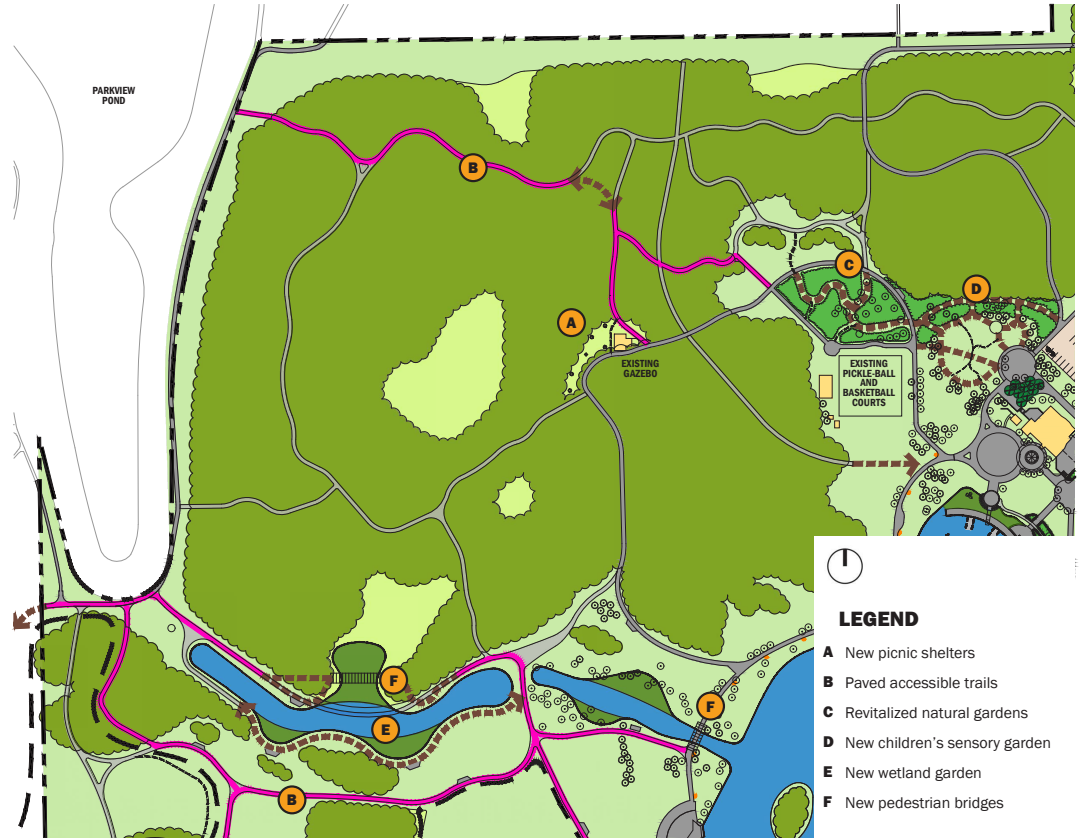
The Master Plan proposes additional picnic sites around the existing gazebo area, and paved granular paths for increased accessible pedestrian access from the Parkview neighbourhood.

Rejuvenating the formal garden area into a set of naturalized gardens, including potential pollinator gardens, woodland gardens, and native planting, will provide a leisurely and seasonally stimulating experience for visitors to the Park. Inspired by drought-tolerant plant species,

formal gardens will increase biodiversity, and connect to the character of the Lloydminster eco-region.

A new children's sensory garden is also proposed to connect the natural gardens to the playground and core area of the Park. Children-sized natural structures, playful sculptures, fun interesting flowers and colourful elements will allow for inclusive play and encourage natural learning.

Modifications to the current pond edges and water channels, and development of formal pathways, seating areas, and water edge access points, provide an ideal opportunity to develop intentional wetland gardens. These gardens will help increase biodiversity, improve stormwater management functions, and can be a key interpretive feature to highlight the importance of wetlands as a response to climate-sensitive design.



LEGEND

- A** New picnic shelters
- B** Paved accessible trails
- C** Revitalized natural gardens
- D** New children's sensory garden
- E** New wetland garden
- F** New pedestrian bridges



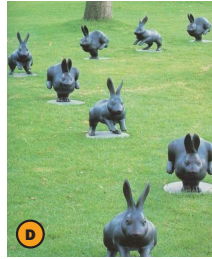
C NATURAL GARDEN



D CHILDREN'S SENSORY GARDEN



E WETLAND GARDEN



F NEW BRIDGE



D CHILDREN'S SENSORY GARDEN



F NEW BRIDGE

CORE PARK AREA



The Core area of the Park is set within the centre of the site, and is defined by high-intensity use and dense development. The existing PSM Centre, BioClean Aquatic Centre, and lake help shape plaza spaces, spray park and play areas, and extend views out towards the water. The PSM Centre is a major building for the Park, hosting places for winter warm-up, washrooms, programming and rentals.

Additional parking at the main entrance parking lot will also include a bioswale and permeable paving as part of stormwater management.

Set under a bosque of trees, the Master Plan proposes a central location for gathering, eating, and drinking as a component to the proposed PSM Centre Café. Dedicated areas for seating within the core playground are also shown to provide spaces for rest, gathering, and shade.

A new lookout and built-in seating area at the lakefront is proposed, guiding views along the central axis of the entrance drive, towards the lake, and offering a fantastic spot next to the water. This new lookout and seating area are connected to a lakefront walk with soft launch docks, and the potential for rental boating equipment will fill the lake with activity.

The Master Plan proposes maintaining a naturalized edge, and creating a shallow wetland demonstration garden for transitional aquatic plants and habitat suited for both terrestrial and aquatic life. Large boulders set at the centre of the shallow area provide places for ducks and other wildlife to perch, providing opportunities for safe and memorable wildlife viewing.



LEGEND

- A** Additional parking and bioswale
- B** Revitalized plaza c/w bike parking
- C** Revitalized bosque / outdoor gathering space
- D** New equipment rentals
- E** New PSM Centre Café
- F** New future inclusive natural playground
- G** New viewing plaza c/w built-in seating
- H** New lakefront walk c/w docks
- I** New wetland demonstration garden
- J** New boat house equipment building
- K** New wind sculptures
- L** New lake walk pedestrian lighting



H I LAKEFRONT WALK AND WETLAND GARDEN



H LAKEFRONT WALK AND DOCKS



J BOATING ON LAKE



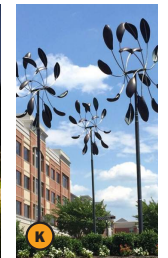
C REVITALIZED BOSQUE - OUTDOOR GATHERING



F NATURE PLAYGROUND



L LIGHTING



K WIND SCULPTURES

BUD MILLER ALL SEASONS PARK - MASTER PLAN

WINTER LIGHTING AND PROGRAMMING



Embracing winter is a way of improving livability for residents through long dark and cold months, with many Canadian cities adopting winter-specific design principles to support year-round programming and encourage getting outdoors.

Adding heaters, fire tables and offering warm food and drink from the proposed PSM Centre Café can quickly transform gathering spaces such as the new proposed bosque and existing patio, into all-season destinations.

Additional winter recreation opportunities include a new skating trail and addition of Crockicurl. Set within forested areas, a new scenic skating trail is proposed as an added experience for winter use, with the addition of wind protection and lighting for skaters. Crockicurl, a newly

invented Canadian winter sport that combines curling and crokinole, has been taken up by many Winter cities. Compact and easy to set up, Crockicurl is an accessible winter activity that can be played by all ages and abilities.

Providing a Christmas and/or winter lighting display within the Park is a proposed family friendly winter program. Whether it is to provide a lighting festival or simply a display, BMASP is a fitting location for park visitors to see the Park in a new light, and extend the use of the park by pedestrians through light trails and gardens.



LEGEND

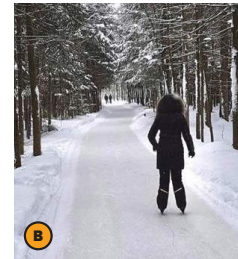
- A** Winter patios for hot food and drinks
- B** Pond skating and new skating trail
- C** Skating warm up and skate rental
- D** Crockicurl
- E** Garden winter lighting
- F** Light post christmas lighting



A WINTER GATHERING



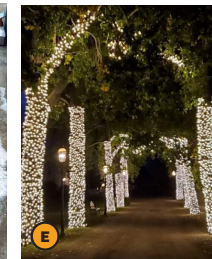
B **E** SKATING TRAIL AND FESTIVE LIGHTING



B SKATING TRAIL



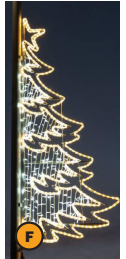
D CROKICURL



E GARDEN WINTER LIGHTING



E



F CHRISTMAS

BUD MILLER ALL SEASONS PARK - MASTER PLAN

SOUTH WEST PARK AREA AND EXPANSION



The South West area encompasses the southern portion of the Park lake, and includes the amphitheatre, bridges and drainage channel, and soccer fields on the east side of existing low forested areas. At the south west portion of the property line is an existing granular pump track. The west side of the forested areas is defined by slough areas and natural clearings.

With the success of the 2022 Canada Day event in the South west portion of the Park, the Master Plan proposes to designate this area as a permanent event space, with flexible recreation use outside of festival events.

A proposed permanent stage to support larger performances and music festivals will be positioned at the south portion of the festival site. A permanent accessible washroom north of the stage and close to major pathway is also proposed.

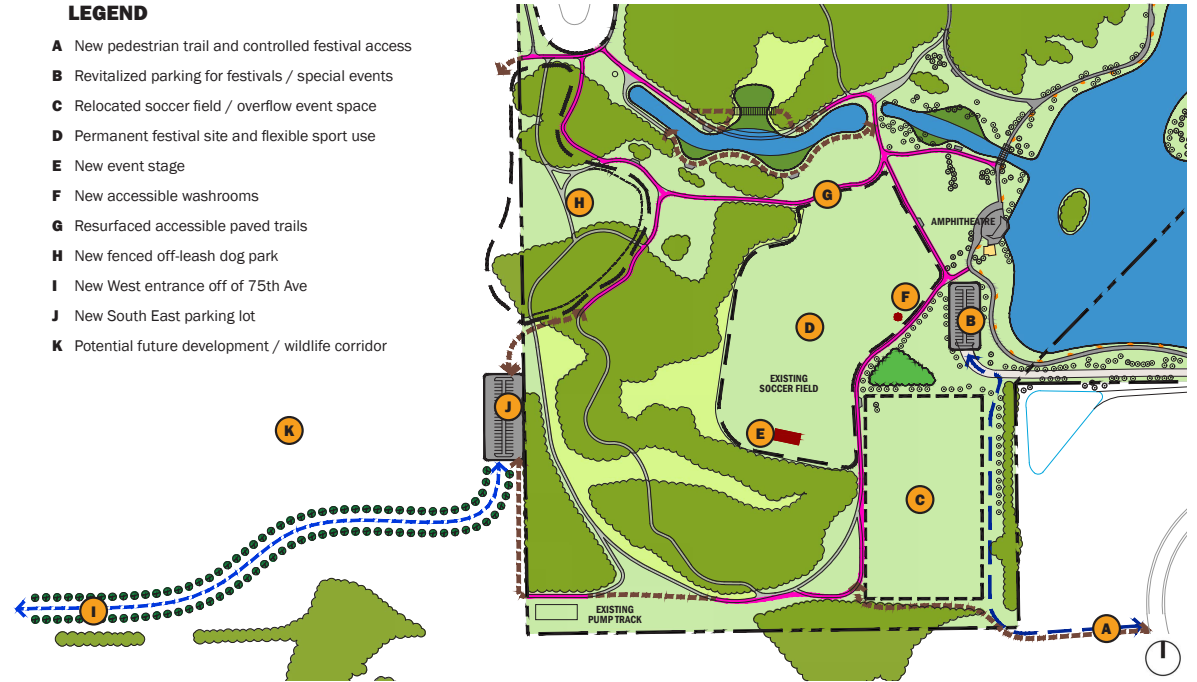
An additional pedestrian entrance is proposed for the Lakeland community. This entrance will also serve as controlled access to allow the function of major and special events.

An off-leash fenced dog park is proposed just south of Parkview lake and Parkview development. This provides a large open space for safe running, and adjacent forested areas for trail walking.

The Expansion Area takes advantage of open land immediately West of the Southwest region of the site, bordered by 75th Ave on the west side. Expanding the site West to 75th Avenue provides a benefit to add additional parking for close access to south-west amenities, and the ability to add park features and uses without encroaching on existing naturalized areas.

LEGEND

- A** New pedestrian trail and controlled festival access
- B** Revitalized parking for festivals / special events
- C** Relocated soccer field / overflow event space
- D** Permanent festival site and flexible sport use
- E** New event stage
- F** New accessible washrooms
- G** Resurfaced accessible paved trails
- H** New fenced off-leash dog park
- I** New West entrance off of 75th Ave
- J** New South East parking lot
- K** Potential future development / wildlife corridor



H OFF-LEASH DOG PARK



G ACCESSIBLE PAVED TRAILS



C D FLEXIBLE RECREATION



D E C CANADA DAY AND LARGE FESTIVALS



D E OTHER SPECIAL EVENTS

BUD MILLER ALL SEASONS PARK - MASTER PLAN

Phase 2 Survey

SURVEY RESPONSE REPORT

20 August 2018 - 28 May 2023

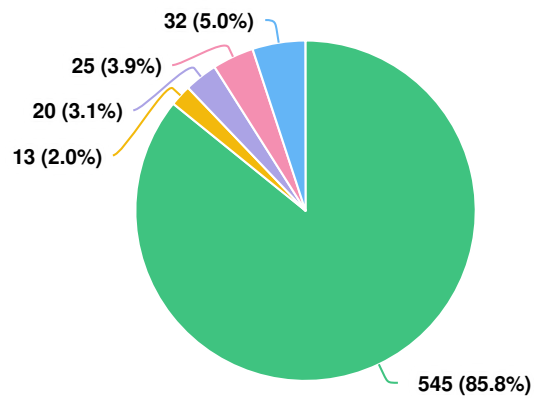
PROJECT NAME:

Bud Miller All Seasons Park Master Plan



SURVEY QUESTIONS

Q1 | Where do you reside?

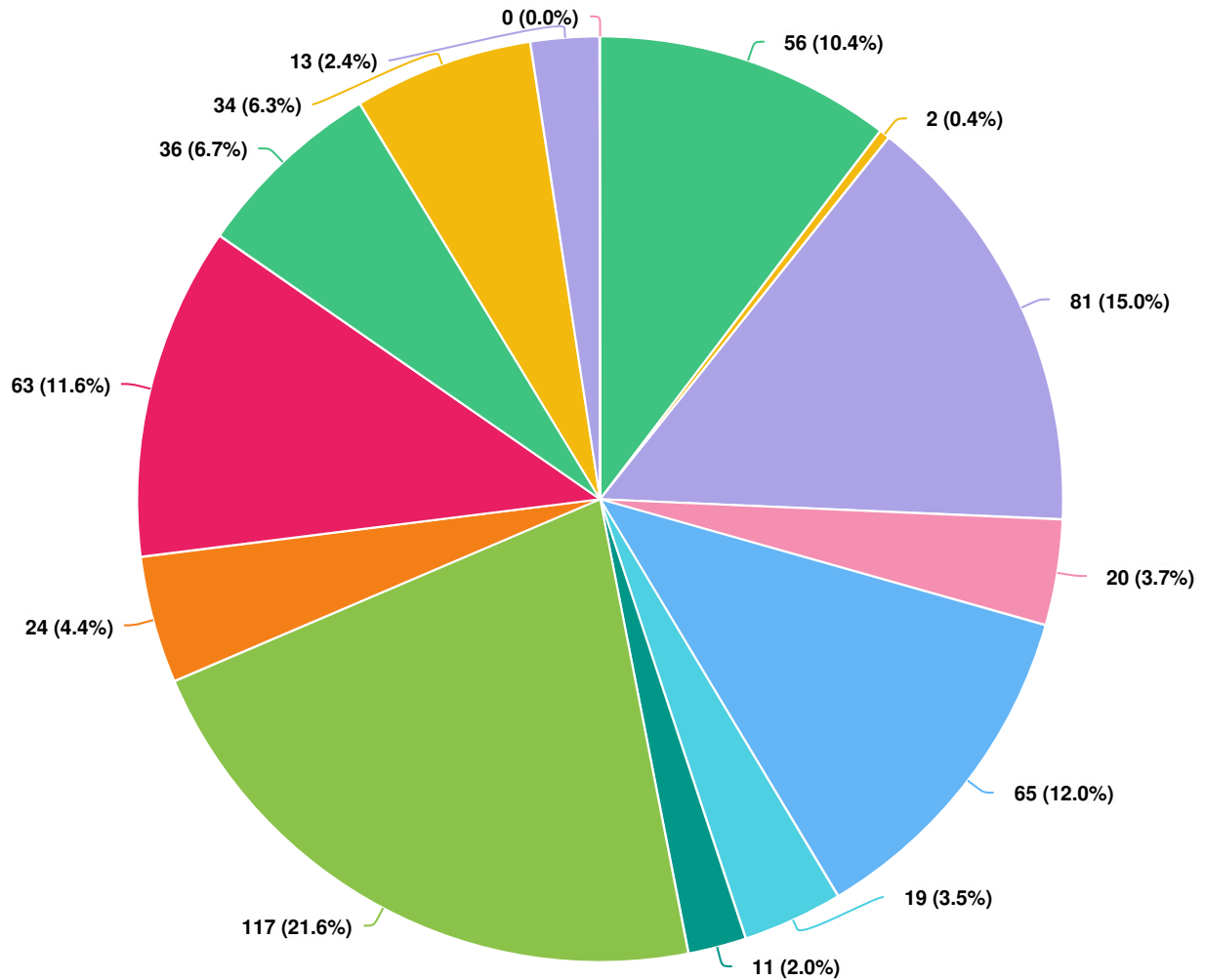


Question options

- Lloydminster Alberta or Saskatchewan
- RM of Britannia
- RM of Wilton
- County of Vermilion River
- Prefer not to disclose

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q2 If Lloydminster, which neighbourhood do you reside in?

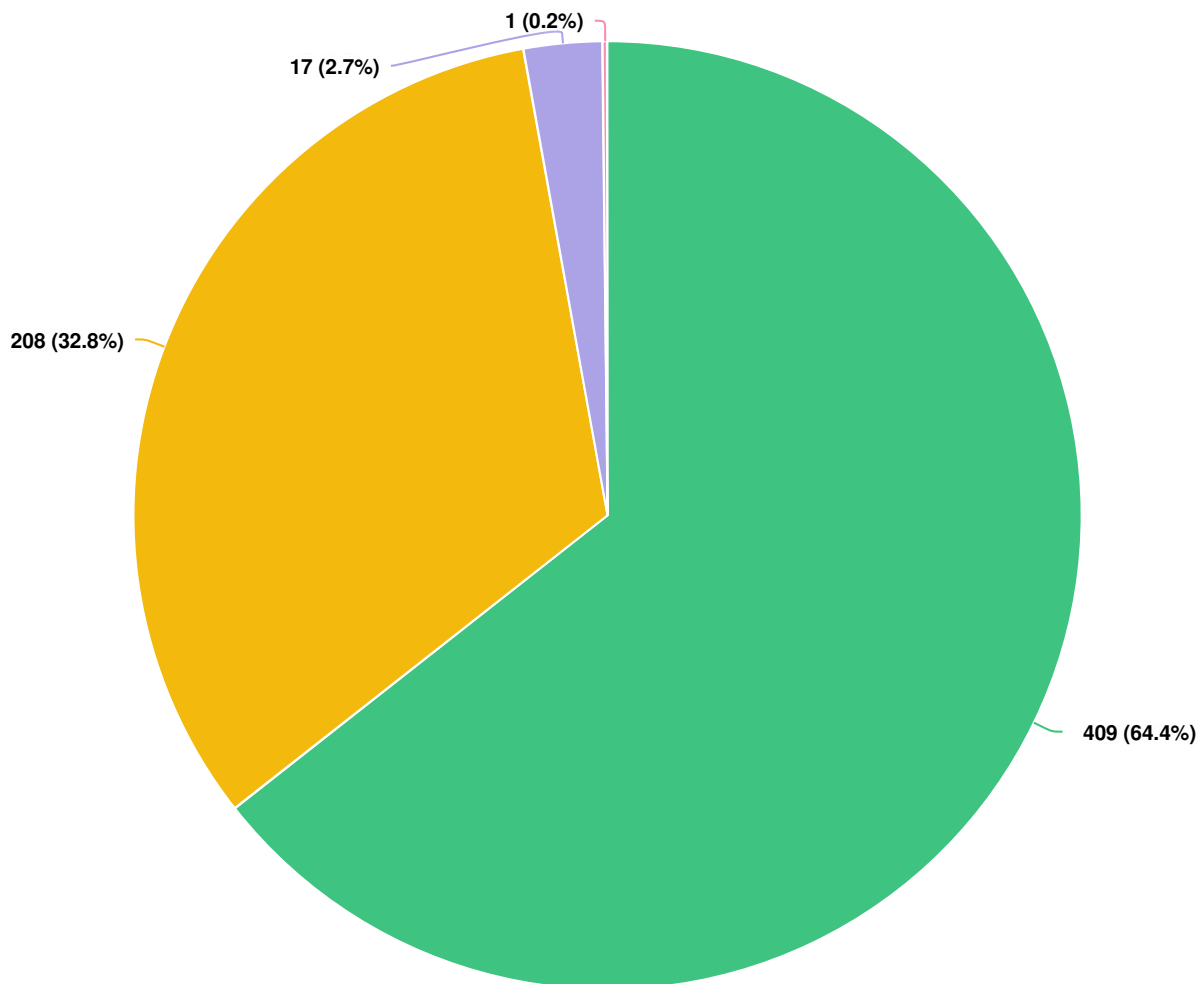


Question options

- Aurora
 Central Business District
 College Park
 East Lloydminster
 Lakeside
 Larson Grove
- North Lloydminster
 Parkview Estates
 Southridge
 Steele Heights
 Wallacefield
 West Lloydminster
- Prefer not to disclose
 North Industrial

Optional question (541 response(s), 94 skipped)
 Question type: Radio Button Question

Q3 Please select your gender.

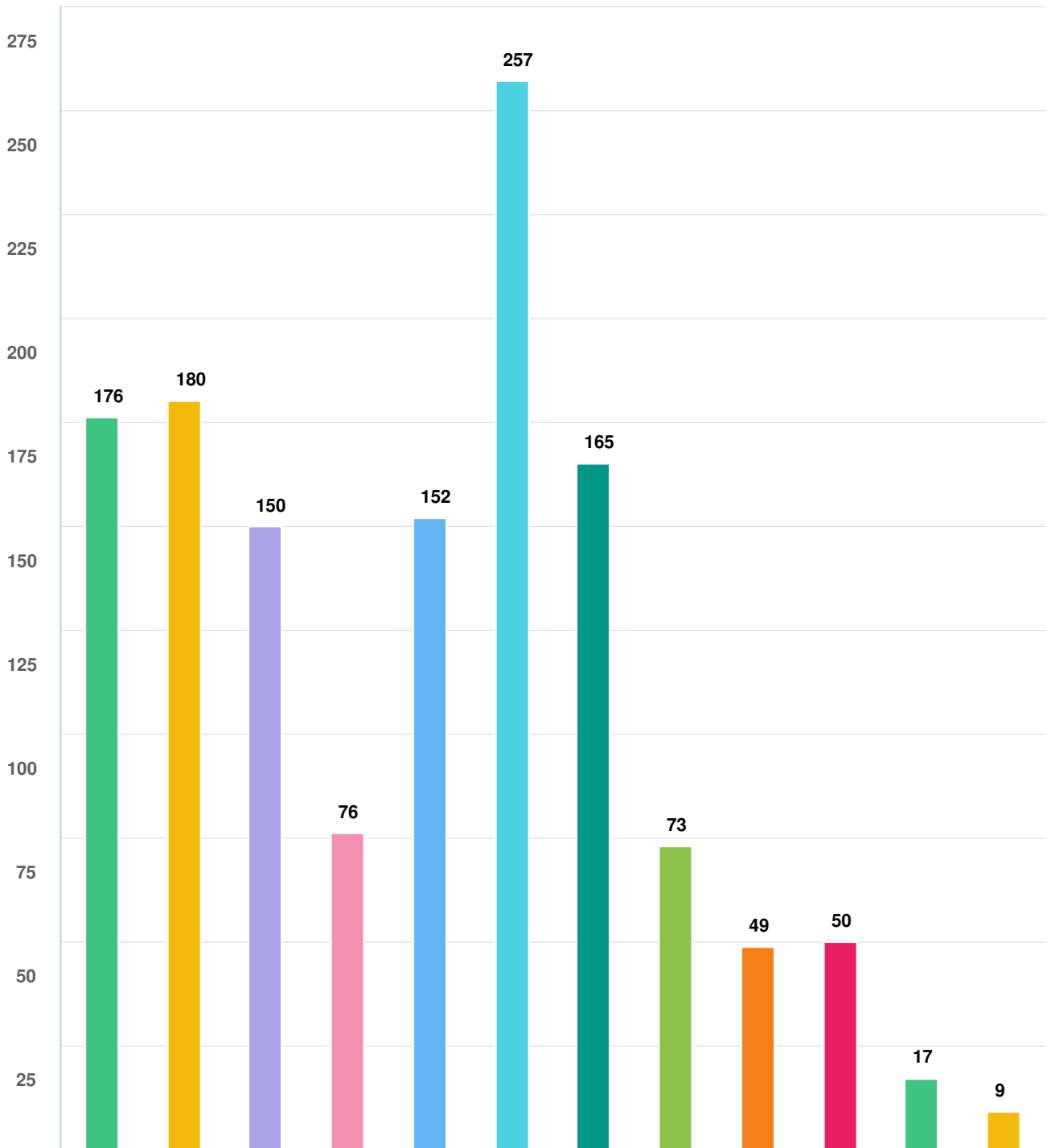


Question options

- Female
- Male
- Prefer not to disclose
- Other (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q4 Including yourself, which of the following age ranges reside within your household?
Please select all that apply.

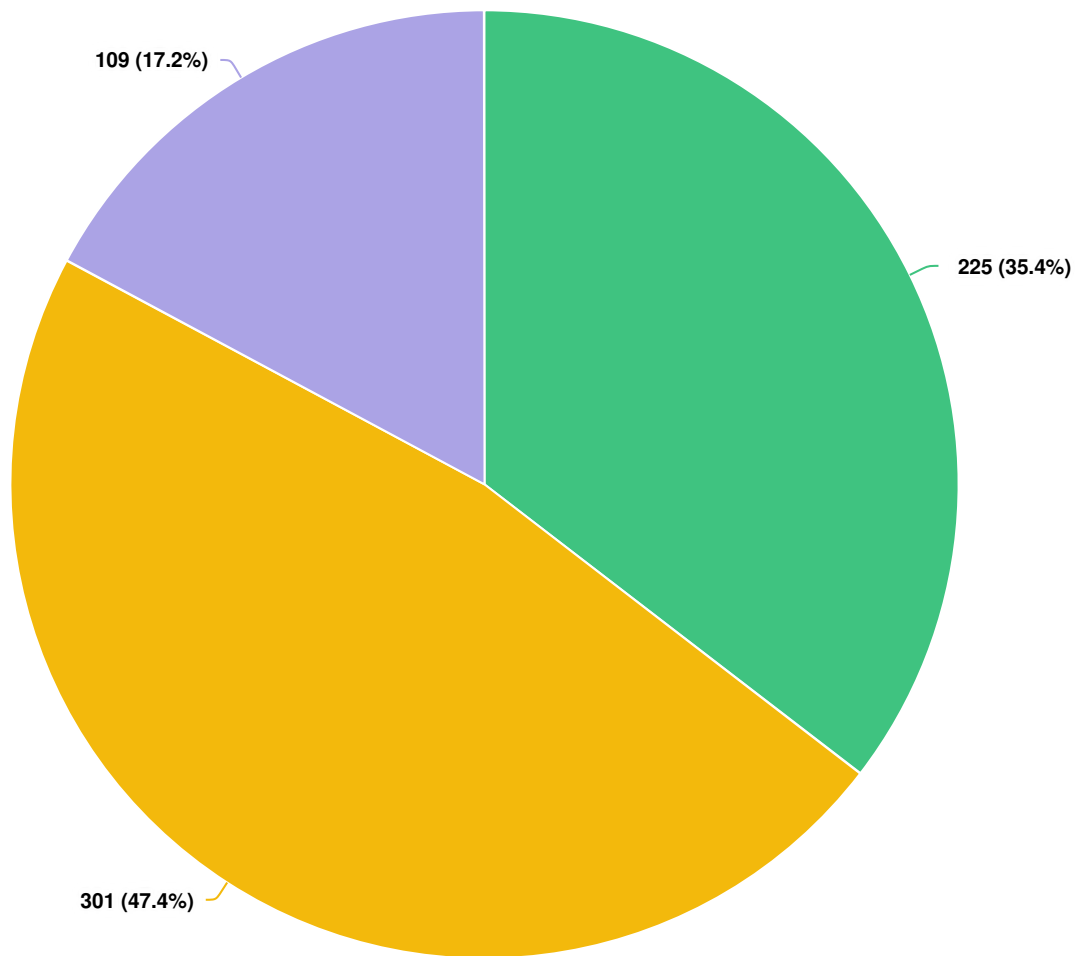


Question options

- 6 and under
- 7 to 12
- 13 to 19
- 20 to 26
- 27 to 33
- 34 to 40
- 41 to 47
- 48 to 54
- 55 to 61
- 62 to 68
- 69 and older
- Prefer not to dispose

Mandatory Question (635 response(s))
Question type: Checkbox Question

Q5 | Did you participate in the Phase 1 Bud Miller All Seasons Park Master Plan engagement (surveys or stakeholder meetings)?

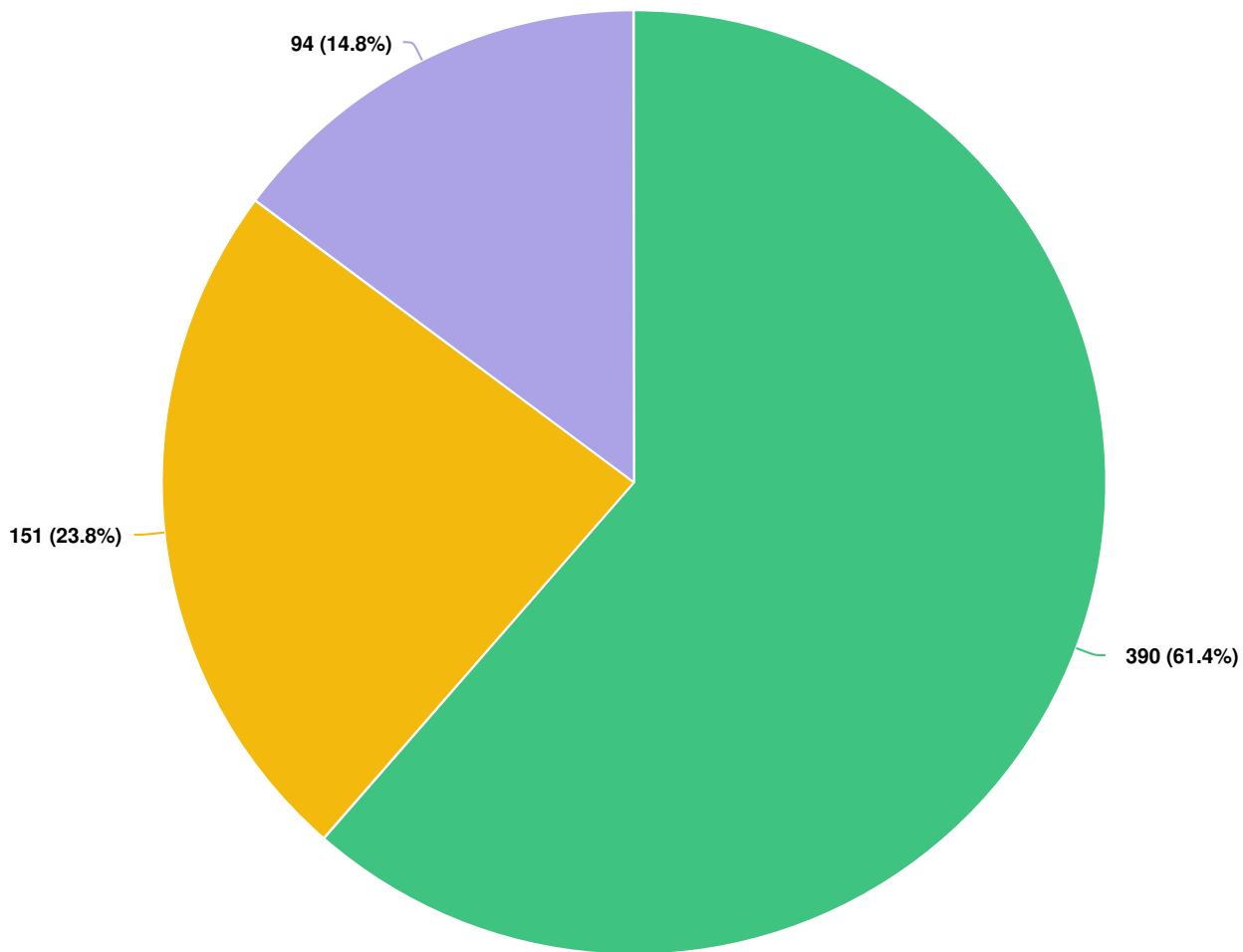


Question options

- Yes
- No
- Prefer not to disclose/Unsure

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q6 | Do you feel that the proposed plan has the appropriate balance of recreational opportunities and natural space/elements?

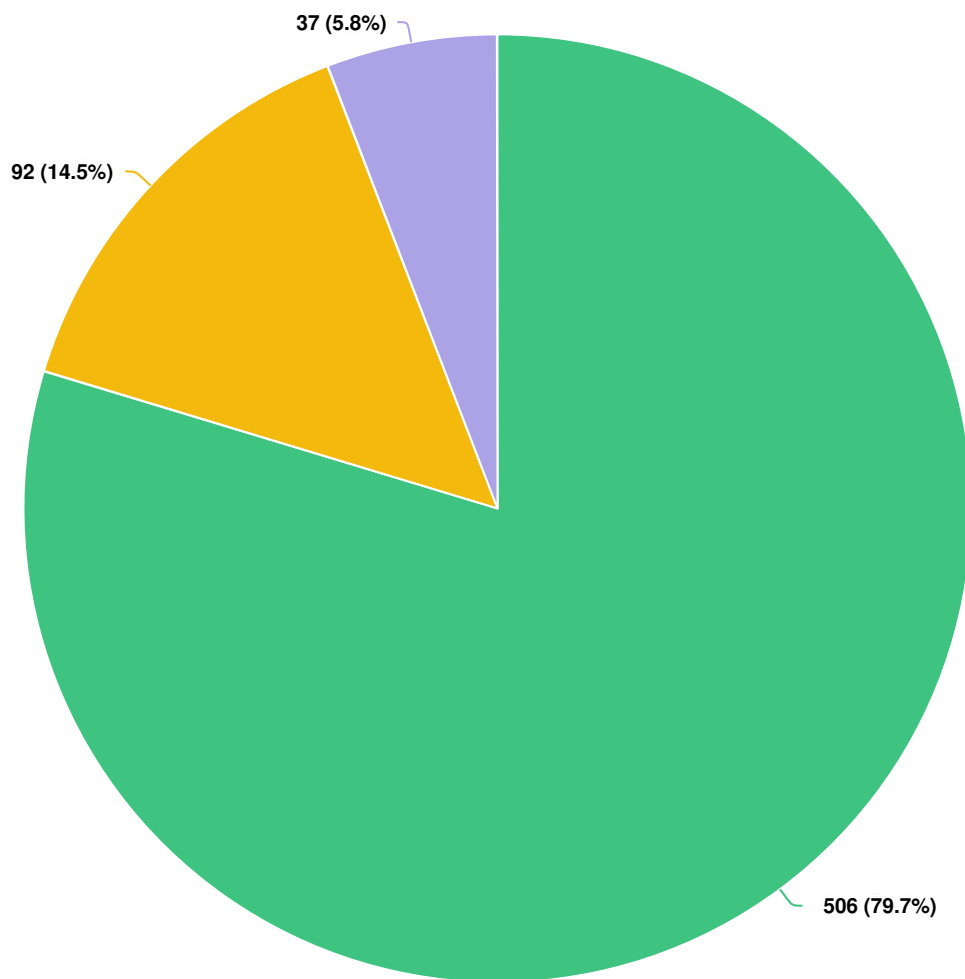


Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q7 | The draft plan includes a proposed vehicle entrance from 75th Avenue and a pedestrian entrance from 59 Avenue. Do you believe these entrances will provide sufficient user access to the green space?

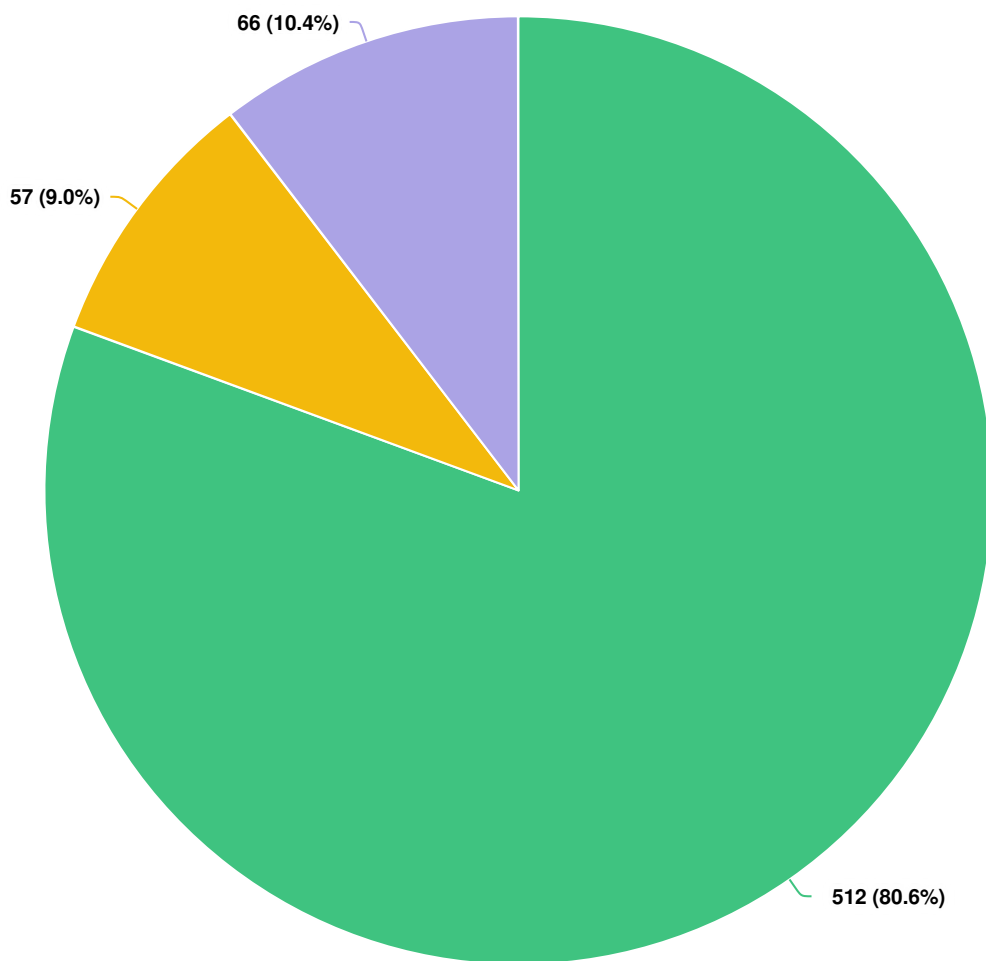


Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q8 To enhance accessibility, the draft plan includes paving specific trails throughout the park. These trails are highlighted in pink on the above map. Are you satisfied with the proposed trail enhancements?

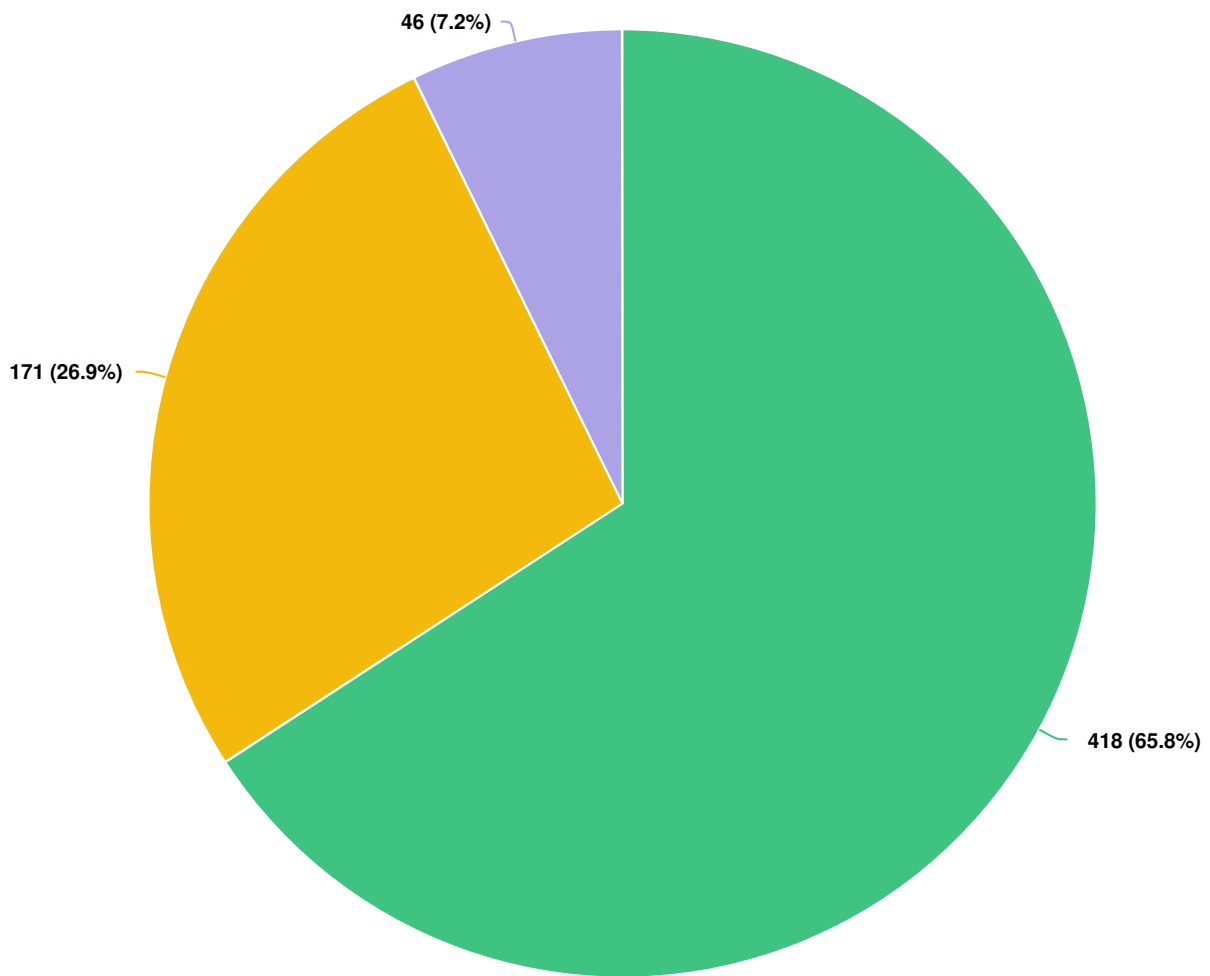


Question options

- Yes
- Unsure
- No (please specify the enhancement you would like to see)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q9 | The proposed plan includes a new permanent festival site in the southeast portion of the park. Do you believe the allocated space will provide adequate room for current and future events?

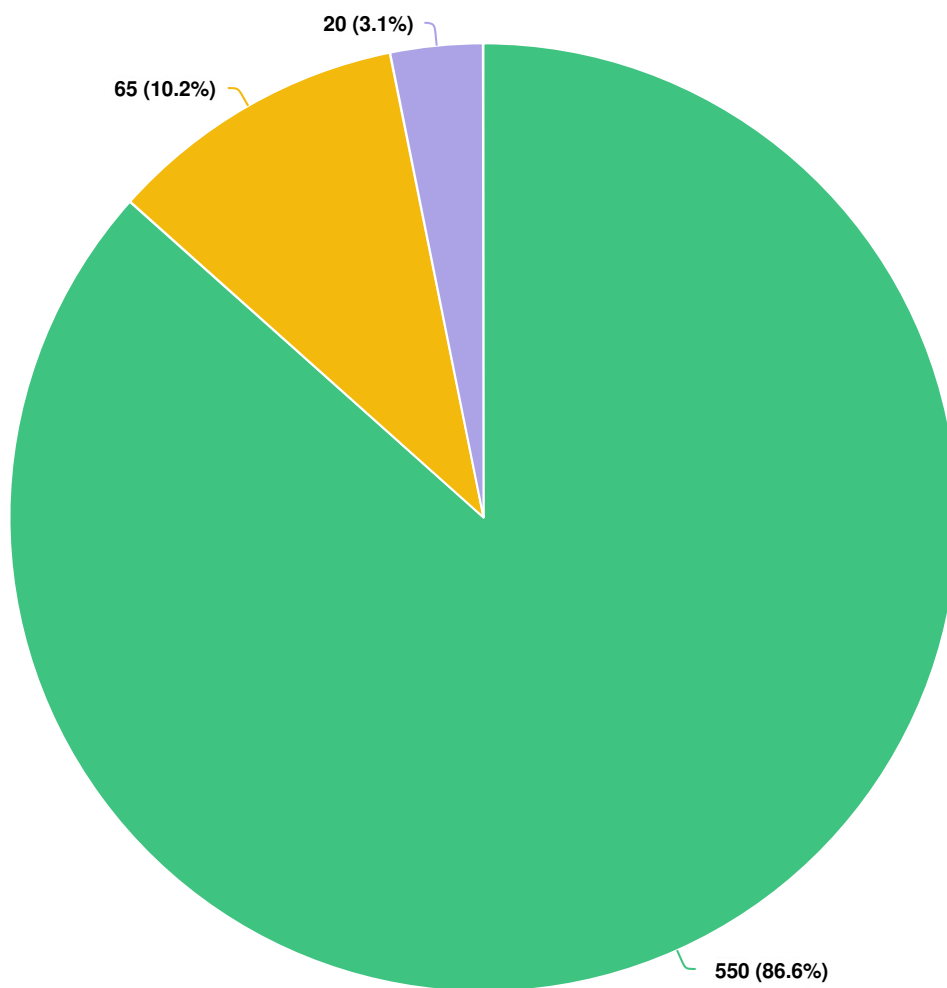


Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q10 | The proposed plan aims to enhance washroom use for all users. By converting all existing washrooms to all-season facilities, as well as adding facilities in the northeast area (within the picnic shelter) and the southeast area (near the new permane...

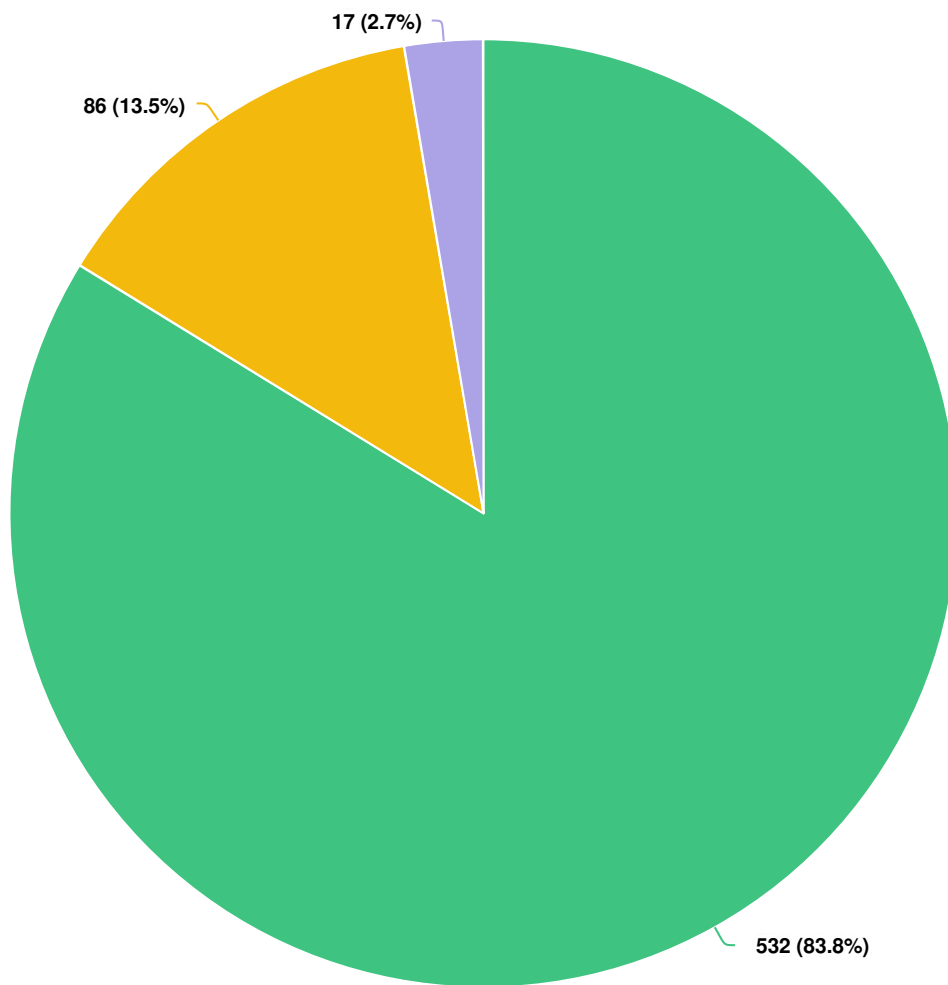


Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q11 | Do you believe the placement (northeast and southeast) are appropriate locations for new washroom facilities?

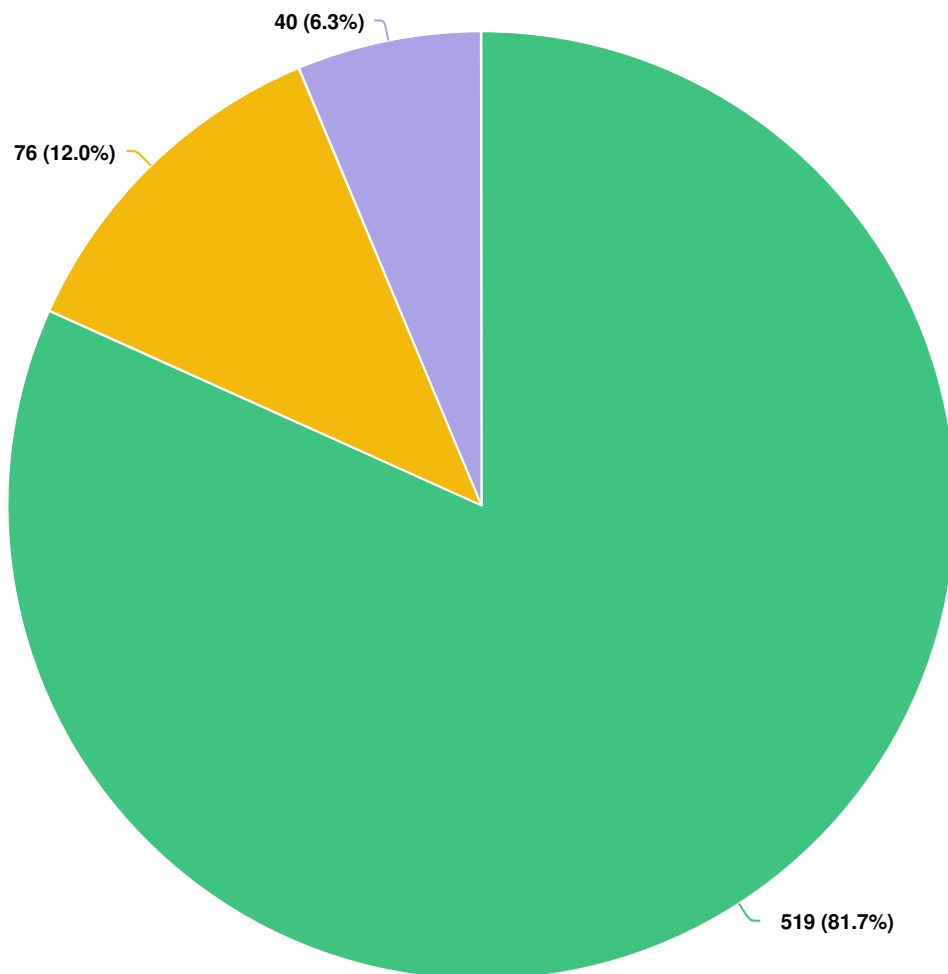


Question options

- Yes
- Unsure
- No (please specify where you would suggest the washrooms be located)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q12 | The park currently offers numerous sporting fields, courts and activities. Are you in favour of an equipment rental kiosk which lends/rents equipment for park amenities?

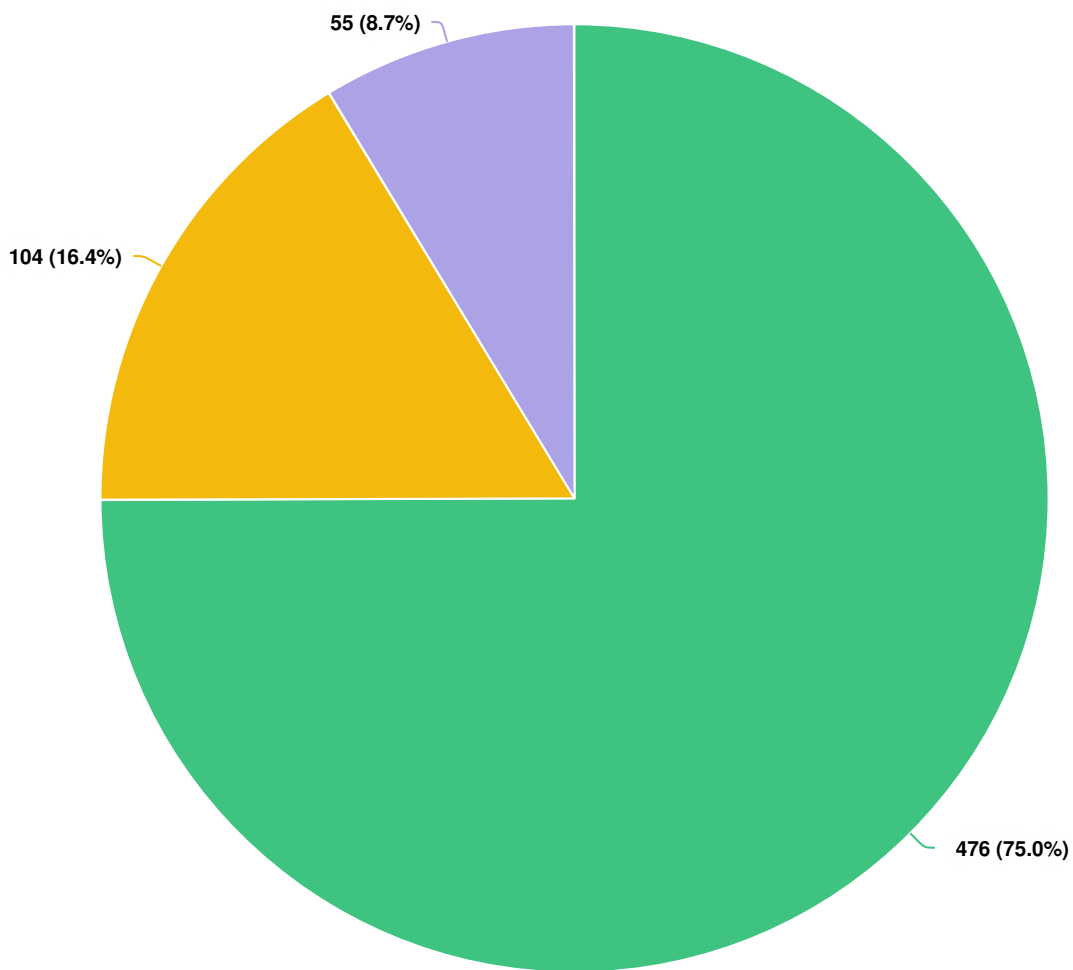


Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q13 | Would you be in favour of additional boating rentals for the lake? (Kayak, canoe, paddle boards etc.)



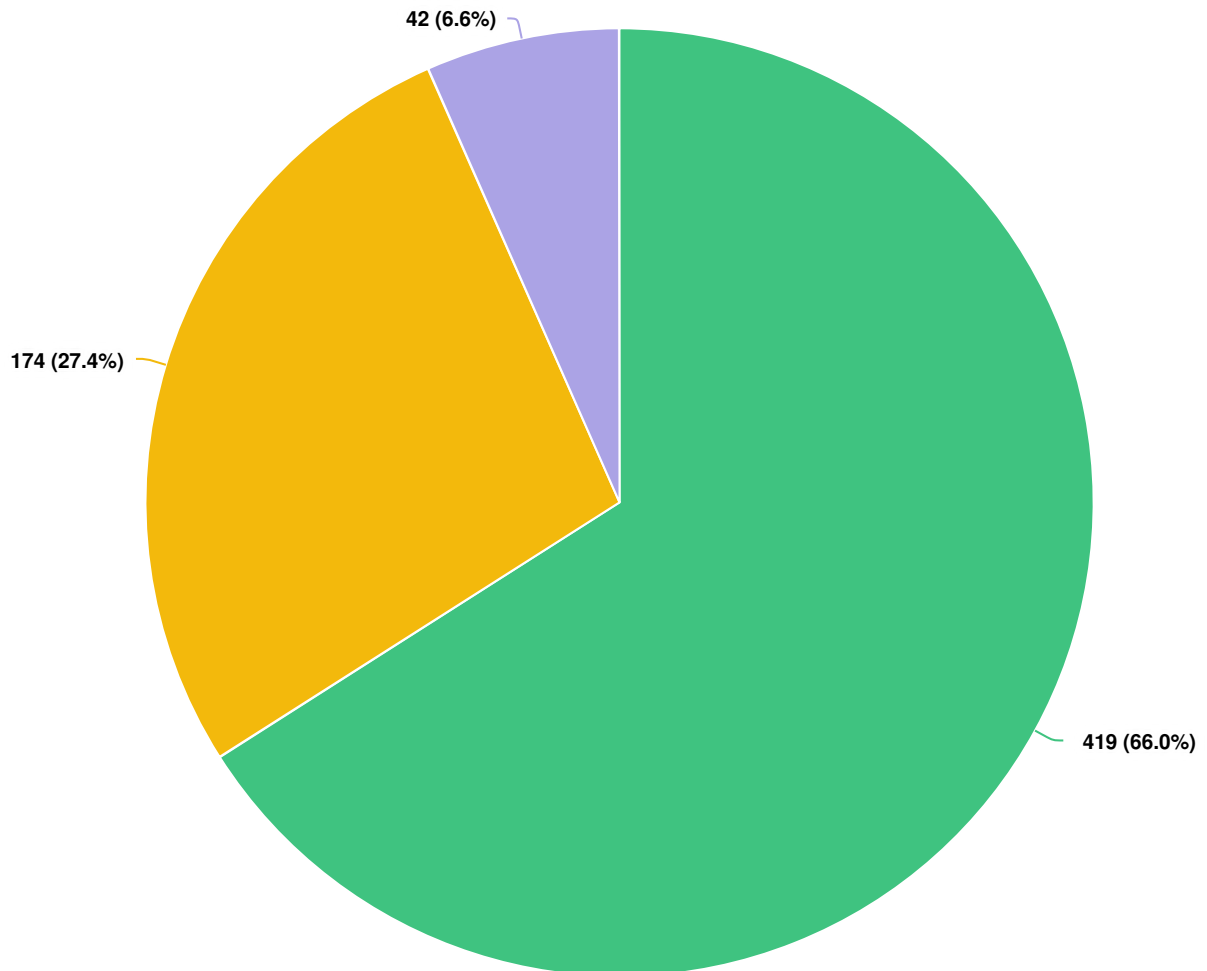
Question options

- Yes
- Unsure
- No (please specify)

Mandatory Question (635 response(s))

Question type: Radio Button Question

Q14 | The park currently includes a disc golf course. Do you believe this amenity should remain within Bud Miller All Seasons Park?

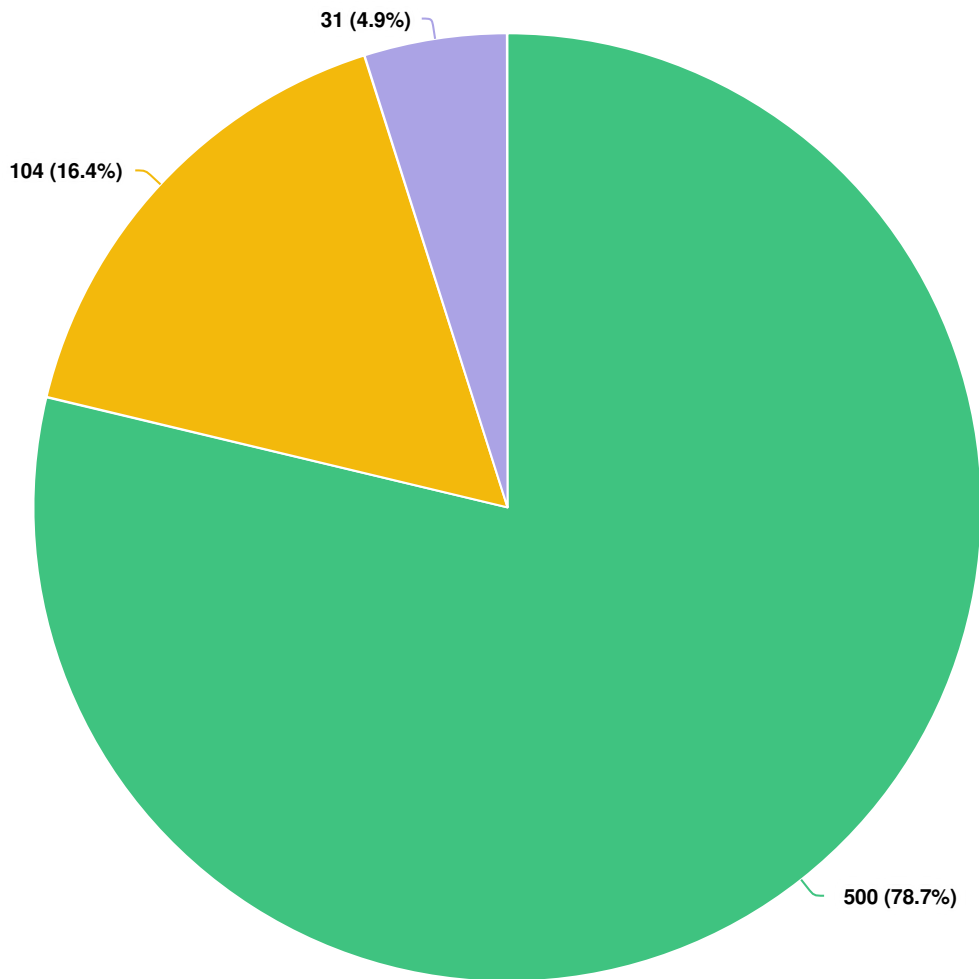


Question options

- Yes
- Unsure
- No, another park is more suitable (please specify which one)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q15 | The park currently includes a mini golf course. Do you believe this amenity should remain within Bud Miller All Seasons Park?

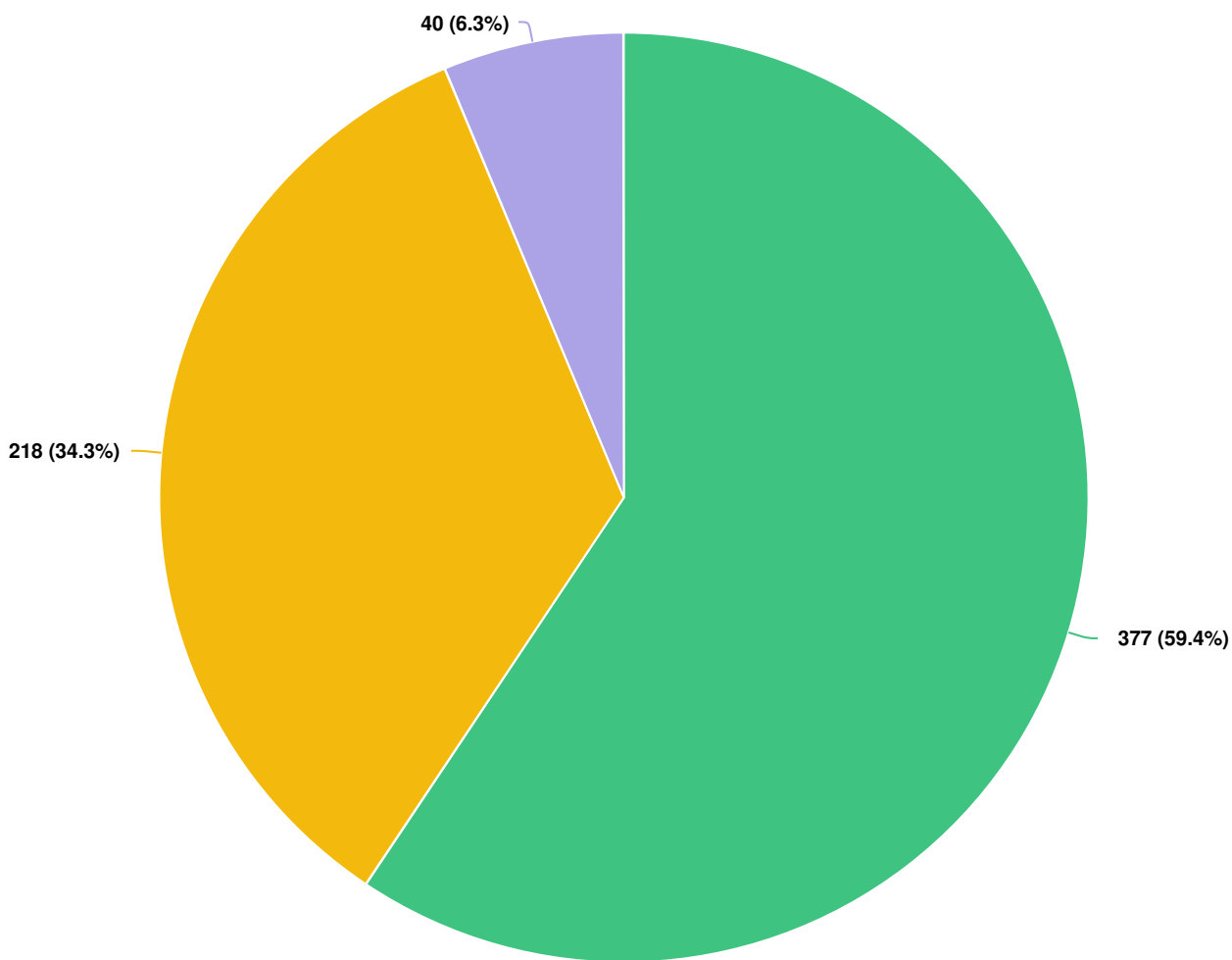


Question options

- Yes
- Unsure
- No, another park is more suitable (please specify which one)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q16 | Do you believe the draft plan provides adequate opportunities for winter recreation and programming?

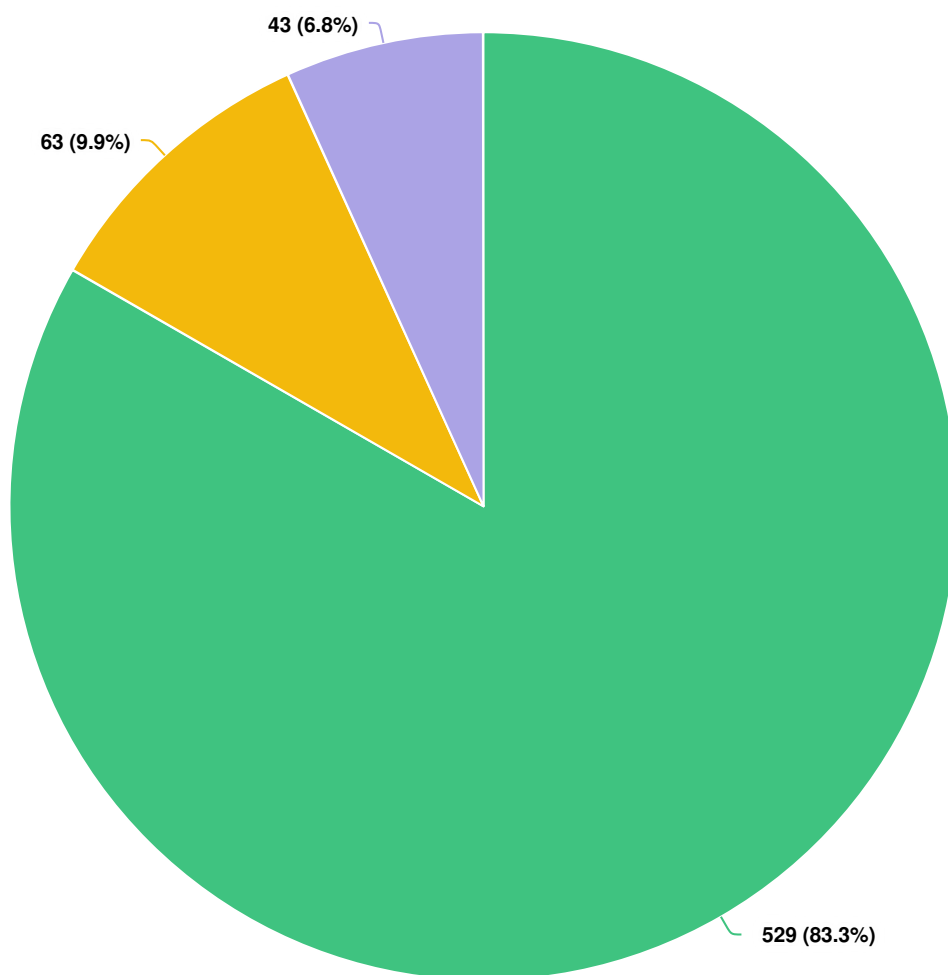


Question options

- Yes
- Unsure
- Other (please specify)

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q17 | Would you be in favour of a food and beverage vendor within the PSM Park Centre?

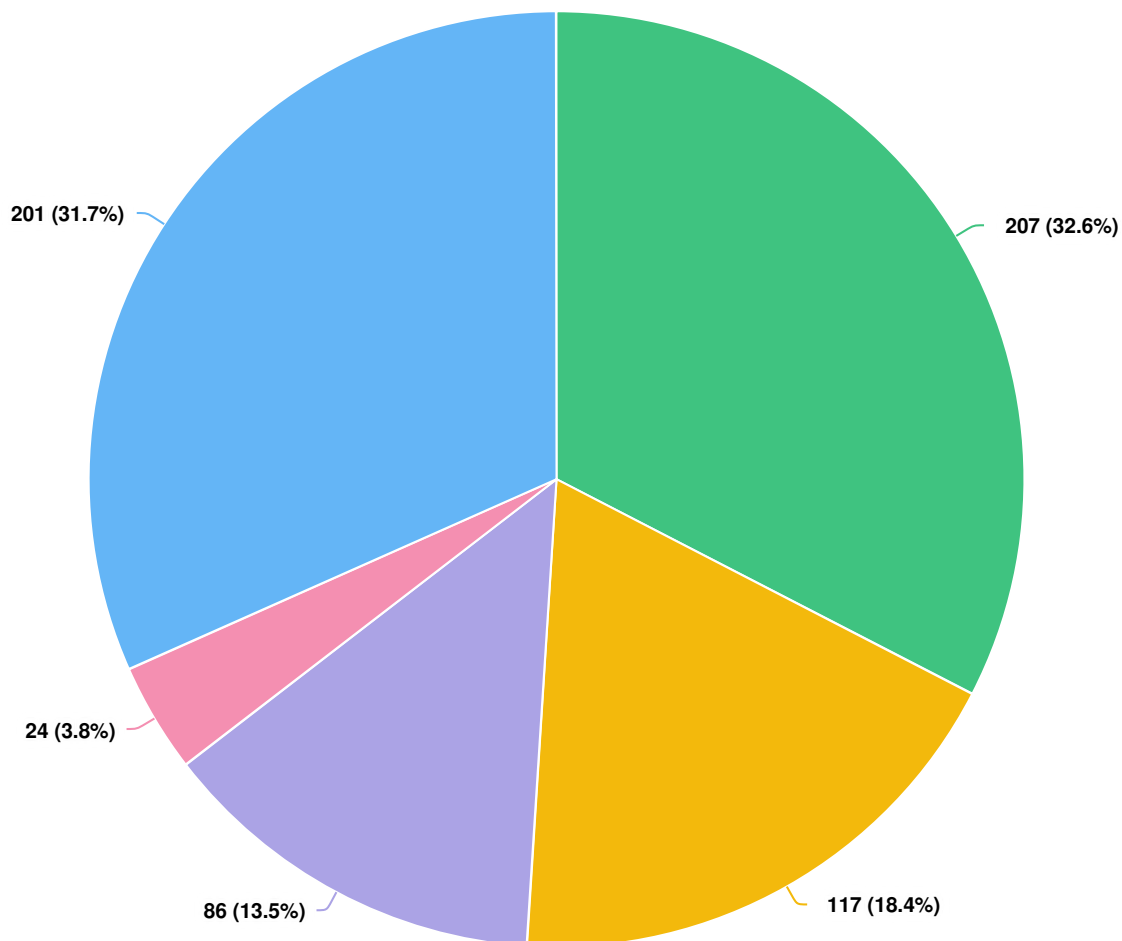


Question options

- Yes
- Unsure
- No

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q18 | The City of Lloydminster is weighing the risks and benefits of allowing limited, responsible alcohol consumption within the park. Consider each of the scenarios below and select which concept you support most.

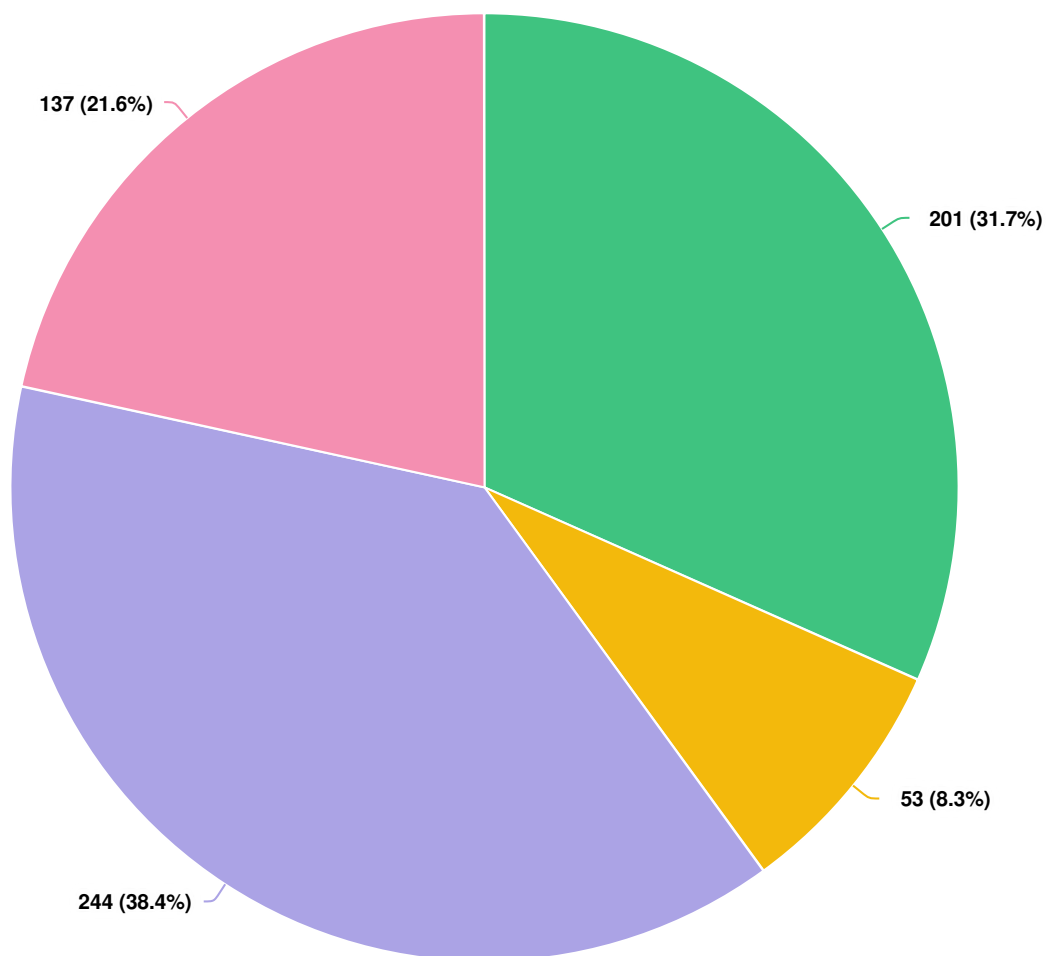


Question options

- Alcohol may be sold and consumed in the park during special events and occasions (Ex. community celebrations, weddings, sporting events etc.)
- Alcohol consumption may be allowed within a specific area of the park year round
- Alcohol consumption may be allowed within all areas of the park year round
- Alcohol consumption may be allowed in the park seasonally, or on specific days of the week/month
- Alcohol will not be allowed within the park at any time, for any reason

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q19 Outdoor fitness activities can be in the form of tracks and circuits or nodes along trails throughout the green space. Which of the following options do you prefer most?

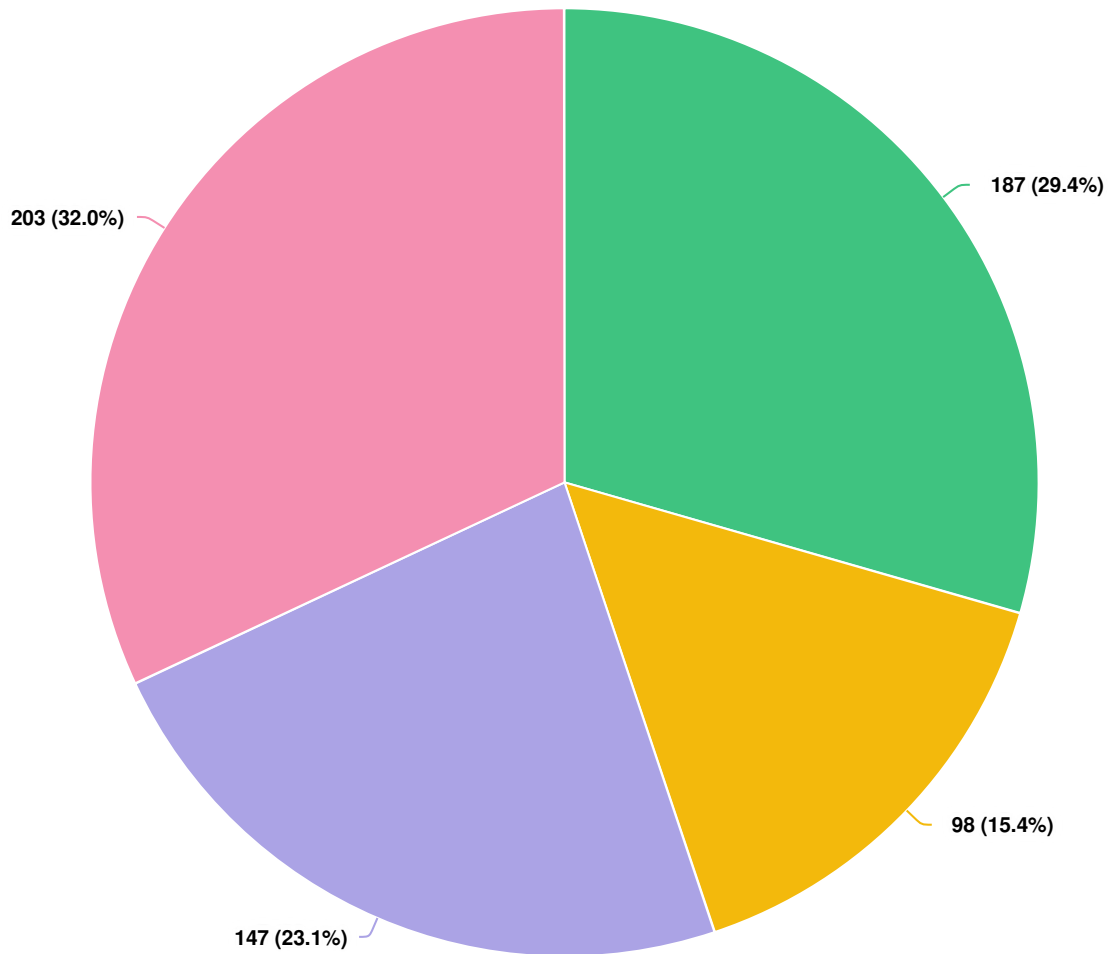


Question options

- Outdoor Fitness Track
- Fitness Node
- Both
- No Preference/Unsure

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q20 | The proposed master plan includes a potential location for an off-leash dog park. Which of the following locations, would you prefer?

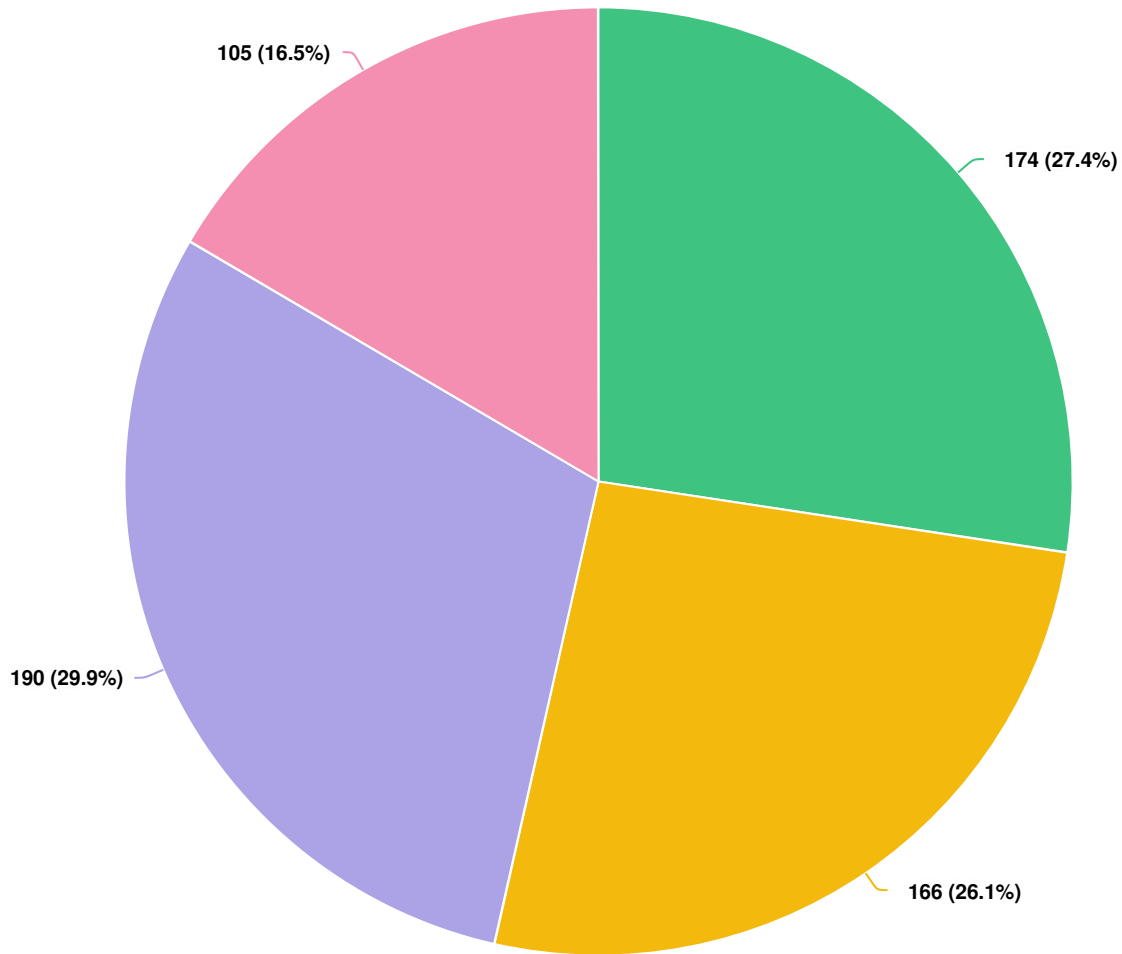


Question options

- Southwest Area
- Northeast Area
- No preference/Unsure
- I would not like to see an off-leash dog park added.

Mandatory Question (635 response(s))
Question type: Radio Button Question

Q21 | The existing sundial is nearing the end of its serviceable lifespan. Which of the following options would you prefer for future rehabilitation?



Question options

- Refurbish the existing sundial with the same footprint, layout and materials
- Re-develop the sundial with the existing footprint
- Re-develop the sundial with a smaller footprint
- Remove the sundial and replace with a different feature (please specify which feature(s) you would like to see added to the area)

Mandatory Question (635 response(s))
Question type: Radio Button Question

